



Kim Webber B.Sc. M.Sc.
Chief Executive
52 Derby Street
Ormskirk
West Lancashire
L39 2DF

Wednesday, 30 November 2016

TO: COUNCILLORS G DOWLING, I ASHCROFT, MRS P BAYBUTT, COOPER, T DEVINE, D EVANS, C MARSHALL, D MCKAY, M NIXON, D O'TOOLE, R PENDLETON, E POPE, A PRITCHARD, MRS M WESTLEY AND A YATES

Dear Councillor,

A meeting of the **PLANNING COMMITTEE** will be held in the **COUNCIL CHAMBER - 52 DERBY STREET, ORMSKIRK L39 2DF** on **THURSDAY, 8 DECEMBER 2016** at **7.30 PM** at which your attendance is requested.

Yours faithfully

A handwritten signature in black ink, appearing to be 'Kim Webber', written over a horizontal line.

Kim Webber
Chief Executive

AGENDA
(Open to the Public)

1. APOLOGIES

2. MEMBERSHIP OF THE COMMITTEE

To be apprised of any changes to the membership of the Committee in accordance with Council Procedure Rule 4.

3. URGENT BUSINESS, IF ANY INTRODUCED BY THE CHAIRMAN

Note: No other business is permitted unless, by reason of special

circumstances, which shall be specified at the meeting, the Chairman is of the opinion that the item(s) should be considered as a matter of urgency.

4. DECLARATIONS OF INTEREST 863 - 864

If a member requires advice on Declarations of Interest, he/she is advised to contact the Borough Solicitor in advance of the meeting. (For the assistance of members a checklist for use in considering their position on any particular item is included at the end of this agenda sheet.)

5. DECLARATIONS OF PARTY WHIP

Party Whips are not to be used by this Committee in respect of its functions concerning the determination of applications, approval of consents, the taking of enforcement action and the exercise of powers and duties with regard to highways, hedgerows, the preservation of trees and high hedge complaints. When considering any other matter which relates to a decision of the Cabinet or the performance of any member of the Cabinet, in accordance with Regulatory Committee Procedure 9, Members must declare the existence of any party whip, and the nature of it.

6. MINUTES 865 - 868

RESOLVED: To receive as a correct record the minutes of the meeting held on the 10 November 2016.

7. PLANNING APPLICATIONS 869 - 936

To consider the report of the Director of Development and Regeneration.

8. GRANVILLE PARK CONSERVATION AREA CHARACTER APPRAISAL UPDATE 937 - 1020

To consider the report of the Director of Development and Regeneration.

9. APPLICATION TO CARRY OUT WORKS TO TREES SUBJECT TO A TREE PRESERVATION ORDER AT 54 TOWER HILL, ORMSKIRK 1021 - 1026

To consider the report from the Director of Development and Regeneration.

We can provide this document, upon request, on audiotape, in large print, in Braille and in other languages.

FIRE EVACUATION PROCEDURE: Please see attached sheet.

MOBILE PHONES: These should be switched off or to 'silent' at all meetings.

For further information, please contact:-

Jill Ryan on 01695 585017

Or email jill.ryan@westlancs.gov.uk

**FIRE EVACUATION PROCEDURE FOR:
COUNCIL MEETINGS WHERE OFFICERS ARE PRESENT
(52 DERBY STREET, ORMSKIRK)**

PERSON IN CHARGE: Most Senior Officer Present
ZONE WARDEN: Member Services Officer / Lawyer
DOOR WARDEN(S) Usher / Caretaker

IF YOU DISCOVER A FIRE

1. Operate the nearest **FIRE CALL POINT** by breaking the glass.
2. Attack the fire with the extinguishers provided only if you have been trained and it is safe to do so. **Do not** take risks.

ON HEARING THE FIRE ALARM

1. Leave the building via the **NEAREST SAFE EXIT**. **Do not stop** to collect personal belongings.
2. Proceed to the **ASSEMBLY POINT** on the car park and report your presence to the **PERSON IN CHARGE**.
3. **Do NOT** return to the premises until authorised to do so by the **PERSON IN CHARGE**.

NOTES:

Officers are required to direct all visitors regarding these procedures i.e. exit routes and place of assembly.

The only persons not required to report to the Assembly Point are the Door Wardens.

CHECKLIST FOR PERSON IN CHARGE

1. Advise other interested parties present that you are the person in charge in the event of an evacuation.
2. Make yourself familiar with the location of the fire escape routes and inform any interested parties of the escape routes.
3. Make yourself familiar with the location of the assembly point and inform any interested parties of that location.
4. Make yourself familiar with the location of the fire alarm and detection control panel.
5. Ensure that the zone warden and door wardens are aware of their roles and responsibilities.
6. Arrange for a register of attendance to be completed (if considered appropriate / practicable).

IN THE EVENT OF A FIRE, OR THE FIRE ALARM BEING SOUNDED

1. Ensure that the room in which the meeting is being held is cleared of all persons.
2. Evacuate via the nearest safe Fire Exit and proceed to the **ASSEMBLY POINT** in the car park.
3. Delegate a person at the **ASSEMBLY POINT** who will proceed to **HOME CARE LINK** in order to ensure that a back-up call is made to the **FIRE BRIGADE**.
4. Delegate another person to ensure that **DOOR WARDENS** have been posted outside the relevant Fire Exit Doors.

5. Ensure that the **ZONE WARDEN** has reported to you on the results of his checks, **i.e.** that the rooms in use have been cleared of all persons.
6. If an Attendance Register has been taken, take a **ROLL CALL**.
7. Report the results of these checks to the Fire and Rescue Service on arrival and inform them of the location of the **FIRE ALARM CONTROL PANEL**.
8. Authorise return to the building only when it is cleared to do so by the **FIRE AND RESCUE SERVICE OFFICER IN CHARGE**. Inform the **DOOR WARDENS** to allow re-entry to the building.

NOTE:

The Fire Alarm system will automatically call the Fire Brigade. The purpose of the 999 back-up call is to meet a requirement of the Fire Precautions Act to supplement the automatic call.

CHECKLIST FOR ZONE WARDEN

1. Carry out a physical check of the rooms being used for the meeting, including adjacent toilets, kitchen.
2. Ensure that **ALL PERSONS**, both officers and members of the public are made aware of the **FIRE ALERT**.
3. Ensure that **ALL PERSONS** evacuate **IMMEDIATELY**, in accordance with the **FIRE EVACUATION PROCEDURE**.
4. Proceed to the **ASSEMBLY POINT** and report to the **PERSON IN CHARGE** that the rooms within your control have been cleared.
5. Assist the **PERSON IN CHARGE** to discharge their duties.

It is desirable that the **ZONE WARDEN** should be an **OFFICER** who is normally based in this building and is familiar with the layout of the rooms to be checked.

INSTRUCTIONS FOR DOOR WARDENS

1. Stand outside the **FIRE EXIT DOOR(S)**
2. Keep the **FIRE EXIT DOOR SHUT**.
3. Ensure that **NO PERSON**, whether staff or public enters the building until **YOU** are told by the **PERSON IN CHARGE** that it is safe to do so.
4. If anyone attempts to enter the premises, report this to the **PERSON IN CHARGE**.
5. Do not leave the door **UNATTENDED**.

Agenda Item 4

MEMBERS INTERESTS 2012

A Member with a disclosable pecuniary interest in any matter considered at a meeting must disclose the interest to the meeting at which they are present, except where it has been entered on the Register.

A Member with a non pecuniary or pecuniary interest in any business of the Council must disclose the existence and nature of that interest at commencement of consideration or when the interest becomes apparent.

Where sensitive information relating to an interest is not registered in the register, you must indicate that you have an interest, but need not disclose the sensitive information.

Please tick relevant boxes

Notes

	General		
1.	I have a disclosable pecuniary interest.	<input type="checkbox"/>	<i>You cannot speak or vote and must withdraw unless you have also ticked 5 below</i>
2.	I have a non-pecuniary interest.	<input type="checkbox"/>	<i>You may speak and vote</i>
3.	I have a pecuniary interest because it affects my financial position or the financial position of a connected person or, a body described in 10.1(1)(i) and (ii) and the interest is one which a member of the public with knowledge of the relevant facts, would reasonably regard as so significant that it is likely to prejudice my judgement of the public interest or it relates to the determining of any approval consent, licence, permission or registration in relation to me or a connected person or, a body described in 10.1(1)(i) and (ii) and the interest is one which a member of the public with knowledge of the relevant facts, would reasonably regard as so significant that it is likely to prejudice my judgement of the public interest	<input type="checkbox"/> <input type="checkbox"/>	<i>You cannot speak or vote and must withdraw unless you have also ticked 5 or 6 below</i> <i>You cannot speak or vote and must withdraw unless you have also ticked 5 or 6 below</i>
4.	I have a disclosable pecuniary interest (Dispensation 20/09/16) or a pecuniary interest but it relates to the functions of my Council in respect of: (i) Housing where I am a tenant of the Council, and those functions do not relate particularly to my tenancy or lease. (ii) school meals, or school transport and travelling expenses where I am a parent or guardian of a child in full time education, or are a parent governor of a school, and it does not relate particularly to the school which the child attends. (iii) Statutory sick pay where I am in receipt or entitled to receipt of such pay. (iv) An allowance, payment or indemnity given to Members (v) Any ceremonial honour given to Members (vi) Setting Council tax or a precept under the LGFA 1992	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<i>You may speak and vote</i> <i>You may speak and vote</i> <i>You may speak and vote</i> <i>You may speak and vote</i> <i>You may speak and vote</i> <i>You may speak and vote</i>
5.	A Standards Committee dispensation applies (relevant lines in the budget – Dispensation 20/9/16-19/09/20)	<input type="checkbox"/>	<i>See the terms of the dispensation</i>
6.	I have a pecuniary interest in the business but I can attend to make representations, answer questions or give evidence as the public are also allowed to attend the meeting for the same purpose	<input type="checkbox"/>	<i>You may speak but must leave the room once you have finished and cannot vote</i>

'disclosable pecuniary interest' (DPI) means an interest of a description specified below which is your interest, your spouse's or civil partner's or the interest of somebody who you are living with as a husband or wife, or as if you were civil partners and you are aware that that other person has the interest.

Interest

Prescribed description

Employment, office, trade, profession or vocation

Any employment, office, trade, profession or vocation carried on for profit or gain.

Sponsorship

Any payment or provision of any other financial benefit (other than from the relevant authority) made or provided within the relevant period in respect of any expenses incurred by M in carrying out duties as a member, or towards the election expenses of M.

	This includes any payment or financial benefit from a trade union within the meaning of the Trade Union and Labour Relations (Consolidation) Act 1992.
Contracts	Any contract which is made between the relevant person (or a body in which the relevant person has a beneficial interest) and the relevant authority— (a) under which goods or services are to be provided or works are to be executed; and (b) which has not been fully discharged.
Land	Any beneficial interest in land which is within the area of the relevant authority.
Licences	Any licence (alone or jointly with others) to occupy land in the area of the relevant authority for a month or longer.
Corporate tenancies	Any tenancy where (to M's knowledge)— (a) the landlord is the relevant authority; and (b) the tenant is a body in which the relevant person has a beneficial interest.
Securities	Any beneficial interest in securities of a body where— (a) that body (to M's knowledge) has a place of business or land in the area of the relevant authority; and (b) either— (i) the total nominal value of the securities exceeds £25,000 or one hundredth of the total issued share capital of that body; or (ii) if the share capital of that body is of more than one class, the total nominal value of the shares of any one class in which the relevant person has a beneficial interest exceeds one hundredth of the total issued share capital of that class.

"body in which the relevant person has a beneficial interest" means a firm in which the relevant person is a partner or a body corporate of which the relevant person is a director, or in the securities of which the relevant person has a beneficial interest; "director" includes a member of the committee of management of an industrial and provident society;

"land" excludes an easement, servitude, interest or right in or over land which does not carry with it a right for the relevant person (alone or jointly with another) to occupy the land or to receive income; "M" means a member of a relevant authority;

"member" includes a co-opted member; "relevant authority" means the authority of which M is a member;

"relevant period" means the period of 12 months ending with the day on which M gives notice to the Monitoring Officer of a DPI;

"relevant person" means M or M's spouse or civil partner, a person with whom M is living as husband or wife or a person with whom M is living as if they were civil partners;

"securities" means shares, debentures, debenture stock, loan stock, bonds, units of a collective investment scheme within the meaning of the Financial Services and Markets Act 2000 and other securities of any description, other than money deposited with a building society.

'non pecuniary interest' means interests falling within the following descriptions:

- 10.1(1)(i) Any body of which you are a member or in a position of general control or management and to which you are appointed or nominated by your authority;
- (ii) Any body (a) exercising functions of a public nature; (b) directed to charitable purposes; or (c) one of whose principal purposes includes the influence of public opinion or policy (including any political party or trade union), of which you are a member or in a position of general control or management;
- (iii) Any easement, servitude, interest or right in or over land which does not carry with it a right for you (alone or jointly with another) to occupy the land or to receive income.
- 10.2(2) A decision in relation to that business might reasonably be regarded as affecting your well-being or financial position or the well-being or financial position of a connected person to a greater extent than the majority of other council tax payers, ratepayers or inhabitants of the ward, as the case may be, affected by the decision.

'a connected person' means

- (a) a member of your family or any person with whom you have a close association, or
- (b) any person or body who employs or has appointed such persons, any firm in which they are a partner, or any company of which they are directors;
- (c) any person or body in whom such persons have a beneficial interest in a class of securities exceeding the nominal value of £25,000; or
- (d) any body of a type described in sub-paragraph 10.1(1)(i) or (ii).

'body exercising functions of a public nature' means

Regional and local development agencies, other government agencies, other Councils, public health bodies, council-owned companies exercising public functions, arms length management organisations carrying out housing functions on behalf of your authority, school governing bodies.

A Member with a personal interest who has made an executive decision in relation to that matter must ensure any written statement of that decision records the existence and nature of that interest.

NB Section 21(13) of the LGA 2000 overrides any Code provisions to oblige an executive member to attend an overview and scrutiny meeting to answer questions.

Agenda Item 6

PLANNING COMMITTEE

HELD: 10 NOVEMBER 2016

Start: 7.30pm

Finish: 8.40pm

PRESENT:

Councillor: G Dowling (Chairman)

Councillors:	I Ashcroft	Mrs P Baybutt
	Cooper	T Devine
	D Evans	D McKay
	J Mee	M Nixon
	D O'Toole	R Pendleton
	E Pope	A Pritchard
	D Westley	A Yates

In Attendance: Councillor J. Hodson (Portfolio Holder for Planning)
Councillor Cotterill (Bickerstaffe Ward)

Officers: Director of Development and Regeneration (Mr. J.Harrison)
Head of Development Management (Mrs. C. Thomas)
Principal Planning Officer (Ms. A. Veevers)
Legal and Member Services Manager (Mr. M. Jones)
Legal Services/Civic Support Officer (Mrs. J.A. Ryan)

38 APOLOGIES

There were no apologies for absence received.

39 MEMBERSHIP OF THE COMMITTEE

In accordance with Council Procedure Rule No. 4, the Committee noted the termination of Councillors C. Marshall and Mrs. M. Westley and the appointments of Councillors D. Westley and Mee for this meeting only, thereby giving effect to the wishes of the Political Groups.

40 URGENT BUSINESS, IF ANY INTRODUCED BY THE CHAIRMAN

There were no urgent items of business.

41 DECLARATIONS OF INTEREST

In line with Section 17.1 of the Constitution, the Officer's Code of Conduct, the Head of Development Management, Mrs. C. Thomas declared an interest in respect of planning application 0878/FUL relating to the Store and Premises, 30A Scarth Hill Lane, Aughton as the agent is known to her personally and stated that she would leave the Chamber during consideration of this item.

42 DECLARATIONS OF PARTY WHIP

There were no declarations of Party Whip.

43 MINUTES

RESOLVED: That the minutes of the meeting held on the 6 October 2016 be approved as a correct record and signed by the Chairman.

44 PLANNING APPLICATIONS

The Director of Development and Regeneration submitted a report on planning applications (all prefixed 2016 unless otherwise stated) as contained on pages 660 to 843 and on pages 853 to 856 detailing late information and additional late information on pages 861 to 862.

RESOLVED A: That the under-mentioned planning applications be approved subject to the conditions in the report:

0668/FUL; 0941/WL3;

B. That planning application 2015/1055/FUL relating to Land to the West, Cabin Lane, Great Altcar be refused for the following reasons:-

1. The proposed development constitutes inappropriate development within the Green Belt which would be harmful to the Green Belt by definition, contrary to the National Planning Policy Framework and Policy GN1 in the West Lancashire Local Plan Development Plan Document 2012-2027. In addition the proposed development would have a significant adverse impact upon the openness of the Green Belt and conflict with one of the purposes of including land in the Green Belt, aimed at safeguarding the countryside from encroachment. The very special circumstances advanced in favour of the proposed development, namely the provision of renewable energy, are considered insufficient to outweigh this harm.
2. By virtue of its siting, height and scale the proposed development would be harmful to the visual amenity and landscape character of this part of the Green Belt contrary to the National Planning Policy Framework, Policies GN3 and EN2 of the West Lancashire Local Plan Development Plan Document 2012-2027 and the Council's Supplementary Planning Guidance "Natural Areas and Areas of Landscape History Importance".
3. The development of the proposed 12 turbines would due to their height, scale, proximity and extent cause harm to the significance, to the historic setting, of a number of designated heritage assets (Listed Buildings and Conservation Areas). The proposal in this respect fails to meet the statutory duty as required by Section 66(1) and Section 72 (1) of the Planning (Listed Building and Conservation Areas) Act 1990. The Council does not consider the stated public benefits, including the provision of renewable energy, outweigh the harm identified (less than substantial) to the designated heritage assets affected. The proposal is therefore contrary to the National Planning Policy Framework and Policy EN4 of the

adopted West Lancashire Local Plan Development Plan Document 2012-2027.

4. The proposed development conflicts with paragraph 118 of the National Planning Policy Framework and the Conservation of Habitats and Species Regulations 2010 (as amended) and Policy EN2 of the West Lancashire Local Plan Development Plan Document 2012-2027 in that insufficient information has been provided to demonstrate that the proposed development would not adversely affect internationally designated sites, their qualifying features and supporting habitat.
 5. The proposed development fails to comply with the National Planning Practice Guidance in that the site is not allocated as suitable for wind energy development in the West Lancashire Local Plan Development Plan Document 2012-2027 and the planning impacts identified by local communities in relation to the green belt, landscape character, heritage assets and ecology have not been fully addressed and therefore the proposal does not have their backing.
- C. That planning application 0176/FUL relating to Stanley Gate Nursery, Ormskirk be refused for the following reason:-

The proposed development constitutes inappropriate development in the Green Belt and reduces the openness of the Green Belt. This would be contrary to the advice given in the National Planning Policy Framework (NPPF). No very special circumstances have been identified which would outweigh the harm caused as the application has failed to establish an essential need for an agricultural workers dwelling on the unit. Notably, it has not been clearly demonstrated that there is a functional need for an agricultural worker to live permanently on the site, and financially, the profit is insufficient to support a sustainability viable business, contrary to paragraph 55 of the NPPF.

- D. That in respect of planning application 2015/0904/FUL relating to Burscough AFC, Victoria Park, Members noted that this item had been withdraw from the Agenda by Officers as further information had been received from the tenant farmer which indicated that there may be some issues in the provision of the mitigation land for pink footed geese and this required further consideration.
- E That planning application 0878/FUL relating to the Store and Premises, 30A Scarth Hill Lane, Aughton be approved subject to the conditions as set out on pages792 to 795 of the Book of Reports but subject to Condition 4 being amended to read:-

Condition 4

Within 9 months from the date when any part of the development hereby approved is first brought into use the approved landscaping scheme shall be carried out. All trees and shrubs planted shall comply with BS.3936 (Specification of Nursery Stock) and shall be planted in accordance with BS. 4428 (General Landscape Operations). All planting shall be maintained and dead or dying material shall be replaced for a period of seven years from the agreed

- date of planting.
- E. That planning application 0787/COU relating to Moss Bridge Barn, Moss Bridge Lane, Lathom be approved subject to the deletion of Condition 2 as noted on page 856 of the Late Information.

(Notes:

1. In accordance with the procedure for public speaking on planning applications on this Committee, members of the public spoke in connection with application nos. 2015/1055/FUL.
2. Councillor Cotterill spoke in connection with planning application no. 0176/FUL relating to Stanley Gate Nursery, Ormskirk Road, Bickerstaffe.
3. Parish Councillor Kevin Sharpe of Ince Blundell Parish Council spoke in connection planning application 2015/1055/FUL relating to Land to the West, Cabin Lane, Great Altcar.
4. In line with Section 17.1 of the Constitution, the Officer's Code of Conduct, the Head of Development Manager, Mrs. C. Thomas declared an interest in respect of planning application 0878/FUL relating to Store and Premises, 30A Scarth Hill Lane, Aughton as the agent is known to her personally and accordingly she left the Chamber during consideration of this item.

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CHAIRMAN



Report of: Director of Development and Regeneration

Contact: Mrs. C. Thomas (Extn.5134)
Email: catherine.thomas@westlancs.gov.uk

SUBJECT: PLANNING APPLICATIONS

Background Papers

In accordance with Section 100D of the Local Government Act 1972 the background papers used in the compilation of reports relating to planning applications are listed within the text of each report and are available for inspection in the Planning Division, except for such documents as contain exempt or confidential information defined in Schedule 12A of the Act.

Equality Impact Assessment

There is no evidence from an initial assessment of an adverse impact on equality in relation to the equality target groups.

CONTENT SHEET

<u>Report No</u>	<u>Ward</u>	<u>Appn No</u>	<u>Site Location & Proposal</u>	<u>Recommendation</u>
1	Scarisbrick	2016/1062/FUL	10 Churchfields Scarisbrick Ormskirk Lancashire L40 9SE Single storey rear extension; two no. rear first floor dormers; sundry additional windows and conversion of part of the existing garage to habitable accommodation.	Planning permission be granted. Pages 4 - 9
2	Hesketh-with-Becconsall	2016/0279/ARM	Henry Alty Ltd Station Road Hesketh Bank Preston Lancashire PR4 6SP Approval of Reserved Matters for the erection of 212 dwellings including associated infrastructure and details of appearance, landscaping, layout and scale.	The decision to grant planning permission be delegated to the Director of Development and Regeneration in consultation with the Chairman or Vice Chairman of the Planning Committee subject to a planning obligation under Section 106 of the Town and Country Planning Act 1990 being entered into. Pages 10 -33

3	Birch Green	2016/0832/FUL	<p>Former Silver Birch Hotel Flordon Birch Green Skelmersdale Lancashire WN8 6PB</p> <p>Demolition of existing vacant commercial building and construction of mixed use development comprising 4 no. retail/commercial units and 18 no. self-contained apartments with associated car parking and landscaping.</p>	<p>Planning permission be granted.</p> <p>Pages 34 - 45</p>
4	Ashurst	2016/0769/ARM	<p>Land To The East Of Whalleys Road Skelmersdale Lancashire</p> <p>Approval of Reserved Matters - Residential development of 202 units comprising 2, 3 and 4 bed properties with associated roads, footpaths and landscaping.</p>	<p>The decision to grant planning permission be delegated to the Director of Development and Regeneration in consultation with the Chairman or Vice Chairman of the Planning Committee subject to a planning obligation under Section 106 of the Town and Country Planning Act 1990 being entered into.</p> <p>Pages 46 – 61</p>

No.1	APPLICATION NO.	2016/1062/FUL
	LOCATION	10 Churchfields Scarisbrick Ormskirk Lancashire L40 9SE
	PROPOSAL	Single storey rear extension; two no. rear first floor dormers; sundry additional windows and conversion of part of the existing garage to habitable accommodation.
	APPLICANT	Mr & Mrs Prescott
	WARD	Scarisbrick
	PARISH	Scarisbrick
	TARGET DATE	6th December 2016

1.0 REFERRAL

- 1.1 This application was to be dealt with under delegated powers, however, Councillor Jane Marshall has requested that it is referred to Planning Committee to consider the impact of the development on the amenity of local residents.

2.0 PREVIOUS RELEVANT DECISIONS

- 2.1 2016/0368/FUL - Single storey rear extension, two no. rear first floor dormers, sundry additional windows and conversion of part garage to habitable accommodation REFUSED
- 2.2 1990/0711 - 10 detached dwellings and garages re-submission of planning permission 8/89/895) GRANTED 10.08.1990

3.0 CONSULTEE RESPONSES

- 3.1 SCARISBRICK PARISH COUNCIL (08/11/16)
The proposal would overlook and result in a loss of privacy to neighbouring property.

4.0 OTHER REPRESENTATIONS

- 4.1 The Council has received 4 letters objecting to the proposal on the following grounds:

Loss of privacy;
Overlooking of habitable rooms and garden areas;
Overbearing form of development;

The original grant of planning permission for 10 Churchfields was for a bungalow not a house;
Objector advised that the only windows allowed to the rear of the property would be velux windows;
The reasons for having rear dormers do not make sense.

5.0 SUPPORTING INFORMATION

5.1 The applicant has submitted a letter in support of their planning application. This can be summarised as follows:

House layout does not work;
Kitchen too small;
Velux windows are noisy during stormy weather, hail and heavy rain;
During summer the light bleaches furnishings;
Proposal would not result in a loss of privacy;
Existing properties overlook one and other;
The rear conservatory at no.28 is screened from view by a garage;
Application is to improve quality of life;
Planning advice has been sought.

6.0 LOCAL PLAN ALLOCATION

6.1 National Planning Policy Framework (NPPF) and the West Lancashire Local Plan 2012-2027 Development Plan Document provide the policy framework against which the development proposals will be assessed.

6.2 The site is located within the settlement area of Scarisbrick, designated as a Small Rural Village in the West Lancashire Local Plan.

6.3 West Lancashire Local Plan (2012-2027) DPD
Policy GN1 – Settlement Boundaries
Policy GN3 – Criteria for Sustainable Development

6.4 Supplementary Planning Document, Design Guide (Jan 2008)

7.0 OBSERVATIONS OF DIRECTOR OF DEVELOPMENT AND REGENERATION

The Site

7.1 The proposal relates to a detached dwelling house and detached garage in the south western corner of Churchfields cul-de-sac. The dwelling house sits in a triangular shaped plot.

The Proposal

- 7.2 Planning permission is sought for a single storey rear extension projecting rearwards 3m and spanning the full width of the property. The extension links the detached garage and house. The proposed extension has a flat roof (2.70m in height) with a large roof lantern. As part of the works a section of garage will be converted into living accommodation.
- 7.3 Also proposed are 2 rear first floor pitched roof dormer windows which have a ridge height of 5.9m and sit within the eaves level of the property.
- 7.4 A number of windows are also proposed as part of the works.

Assessment

- 7.5 This planning application is a resubmission of planning application 2016/0368/FUL "Single storey rear extension, two no. rear first floor dormers, sundry additional windows and conversion of part garage to habitable accommodation," which was refused planning permission on the following grounds:

"The proposed dormers to the rear roof slope conflict with Policy GN3 of the West Lancashire Local Plan (2012-2027) DPD and supplementary planning document 'Design Guide' (Jan 2008) in that the proposed rear dormer windows would directly overlook windows and private amenity space of the neighbouring property of number 4 Everard Close, resulting in an unreasonable loss of privacy to the detriment of the amenities of adjoining neighbour."

- 7.6 The main difference between this planning application and planning refusal 2016/0368/FUL is the bottom of the windows in the rear dormers is 1.7m above floor level, thereby preventing overlooking of adjacent properties.
- 7.7 The main considerations in the determination of this application are;

Design / appearance / amenity
Impact upon neighbouring properties
Highways / parking

Visual appearance / design / amenity

- 7.8 Policy GN3, criterion vi of the West Lancashire Local Plan states that where proposals involve extensions to existing buildings, the design should relate to the existing building and should not detract from the character of the street scene. Supplementary Planning Document, Design Guide gives further advice for extensions to dwellings and states that extensions should be; subservient in size, scale and mass to the original dwelling and never dominate or be

disproportionate to the existing dwelling and should have a built form which relates to the character and appearance of the existing property.

- 7.9 The proposed single storey extension would be a subordinate addition to the property in terms of scale and height. Whilst the extension would run the full width of the property and link up with the existing garage I do not consider that the proposal would result in a disproportionate extension which would harm the character of the host building.
- 7.10 Similarly the proposed dormers conform to aspects contained within the SPG, Design Guide in that they are small pitched roof dormers, confined to the rear roof slope and are set and down from the ridge. The number of new openings to the dwelling would not in my opinion result in harm to the character of the host building.

Impact upon adjoining land uses

- 7.11 Policy GN3 of the Local Plan states that developments should 'retain reasonable levels of privacy, amenity and sufficient garden / outdoor space for occupiers of the neighbouring and proposed properties.'
- 7.12 This planning application proposes 2no. rear dormers measuring 0.9m wide x 2.3m long x 1.5m high. To address the reason why planning application 2016/0368/FUL was refused the proposal shows the rear dormers 1.7m above the floor level. In my opinion this would be acceptable as the proposed dormer windows would not afford views out of the bedrooms. There are existing velux windows in the roof slope and I do not consider that proposal would worsen the situation in relation to actual overlooking. Whilst there may be an increased perception of overlooking, there are existing windows in the roof in a similar position and existing dormer windows in the Everard Close properties which are clearly visible from the application site. Given this position, I cannot conclude that the existing position would be demonstrably worsened sufficient to warrant a refusal of this application.
- 7.13 The dwellings of number 2 and 4 Everard Close are situated on land approximately 0.50m higher than the application property. The boundary treatment between these dwellings and the application property is a 1.80m high closed timber board fence.
- 7.14 The separation distance between the kitchen window at no.4 Everard Close and kitchen/dining room window in the proposed extension would be approximately 6.50m. The living room at no.4 Everard Close would be approximately 9m from the kitchen/dining room in the proposed extension. Whilst there is some overlooking between the application site and properties to the rear, this is primarily because the properties on Everard Close are at a higher level and there rear facing windows have a clear view into the application site. The issues of overlooking are somewhat mitigated by the existing boundary fence I and do not

consider the existing situation would be materially worsened as a result of the proposed single storey extension.. In terms of the impact to neighbouring dwellings I do not envisage that the form and scale of the single storey extension would result in an overbearing development or one that would result in a loss of light.

- 7.15 The application also includes alterations to the existing fenestration and the provision of 3 new side facing windows at ground floor level in the elevation facing number 8 Churchfields. The side facing lounge windows would look onto a blank gable wall, and the proposed family room window would look onto a boundary fence. I consider the proposed windows to be acceptable in principle.
- 7.16 I consider that the application as submitted addresses the reason why planning application 2016/0368/FUL was refused and the scheme would not have a significant detrimental impact on the amenities of adjoining properties.

Highways

- 7.17 The application ensures that there would be sufficient car parking within the site. Policy IF2 of the West Lancashire Local Plan 2012-2027 Development Plan Document recommends that 4 bedroom properties have 3 off street car parking spaces.
- 7.18 Whilst the proposal would result in the loss of one garage space, a single garage and drive are retained which will provide an adequate level of parking for the property.

8.0 RECOMMENDATION

- 8.1 That planning permission be GRANTED subject to the following conditions:

Conditions

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.
2. All external brickwork and roofing materials shall be identical to those on the existing building in respect of shape, size, colour and texture. If the applicant or developer has any doubts as to whether the proposed materials do match they should check with the Local Planning Authority before commencement of the building works.
3. The development hereby approved shall be carried out in accordance with details shown on the following plans:-

Plan reference 2289/rev16/1b received by the Local Planning Authority on 25/11/16

Reasons

1. Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.
2. To ensure that the external appearance of the building(s) is satisfactory and that the development therefore complies with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
3. For the avoidance of doubt and to ensure compliance with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.

Reason for Approval

1. The Local Planning Authority has considered the proposed development in the context of the Development Plan including, in particular, the following Policy/Policies in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document:

Policy GN1 - Settlement Boundaries

Policy GN3 - Criteria for Sustainable Development

together with Supplementary Planning Guidance and all relevant material considerations. The Local Planning Authority considers that the proposal complies with the relevant Policy criteria and is acceptable in the context of all relevant material considerations as set out in the Officer's Report. This report can be viewed or a copy provided on request to the Local Planning Authority.

No.2 APPLICATION NO.	2016/0279/ARM
LOCATION	Henry Alty Ltd Station Road Hesketh Bank Preston Lancashire PR4 6SP
PROPOSAL	Approval of Reserved Matters for the erection of 212 dwellings including associated infrastructure and details of appearance, landscaping, layout and scale.
APPLICANT	Persimmon Homes Lancashire
WARD	Hesketh-with-Becconsall
PARISH	Hesketh-with-Becconsall
TARGET DATE	17th June 2016

1.0 PREVIOUS RELEVANT DECISIONS

- 1.1 2013/1258/OUT GRANTED (30.04.2015) Outline - Residential development across two phases, including associated garages, roads, landscaping and public realm creation in the form of a linear park and B1 employment uses. Details of access included.
- 1.2 2004/1057 REFUSED (29.07.2005) Redevelopment of land for mixed use of employment and residential incorporating the erection of a building and use of land for storage, display and sale of building and horticultural supplies, erection of a block of individual units, provision of associated car parking and vehicle manoeuvring areas, erection of 83 dwellings, new access roads and provision of public open space.
- 1.3 2003/1462 GRANTED (20.05.2004) Erection of building for the storage, sale and distribution of horticultural supplies.
- 1.4 Adjacent site 2007/0553/FUL GRANTED (19.11.2007) Erection of foodstore with tea shop, car parking, servicing, associated landscaping and creation of three ponds.
- 1.5 Adjacent site 2005/0333 GRANTED (11.07.2005) Reserved Matters - Refurbishment and two-storey rear extension to existing building to provide three shop units with flat above and provision of car park at side.
- 1.6 Adjacent site 2003/0905 GRANTED (19.05.2004) Outline – Erection of Foodstore (1765sqm); car parking; service area; new access and extension to existing shop (including details of siting and access)

- 1.7 Adjacent site 2013/0858/OUT GRANTED (14.10.2013) Outline - Three detached dwellings including details of access.
- 1.8 Adjacent site 2013/1329/OUT GRANTED (13.02.2014) Outline - Construction of 2 No. detached homes including details of access.

2.0 CONSULTEE RESPONSES

- 2.1 LCC HIGHWAYS (6/6/16) - the Highway Authority recommend changes to the internal layout. A cycle link should be provided to Astland Gardens and all off road paths should be 3.5 m wide. A turning head is required to allow refuse vehicles to turn within the site. Consideration should be given to the size of internal garages. The design of internal access roads should accord with guidance in Manual for Streets and be designed to ensure speeds are kept below 20mph. The grass verge should be removed from the site access road and relocated to the back edge of the footpath. Clarification is required regarding the phase 2 access in relation to land ownership issues and the presence of existing private car parking. Conditions recommended.

LCC HIGHWAYS (3.10.16)- In relation to the amended plans received LCC remain concerned about the southern access due to land ownership issues and require clarification that the applicant has control over all the land required for the southern access. LCC would recommend changes to the southern access to incorporate footpath provision and allow the road to be adopted. LCC recommend that off road paths are 3.5m wide rather than 3m as shown on the submitted plans. The turning head to serve plots 123-131 needs to be proved via the submission of swept path plans. The garage sizes remain below the recommended standard. There are areas where streets and paths have not been designed to adoptable standard. Other matters also require consideration e.g. access to the light railway and parking for the fishing pond/railway. (*swept path analysis and further amended plans submitted and further comments awaited*).

- 2.2 MERSEYSIDE ENVIRONMENTAL ADVISORY SERVICE (13.04.16) - The possibility of likely significant effects on European sites has been considered using the source-pathway-receptor model. These pathways can be sufficiently addressed by the implementation of a Construction Environmental Management Plan (CEMP) which would result in no likely significant effects. Provided a CEMP is required by condition and implemented, the proposed development will have no likely significant effects on Martin Mere SPA, Martin Mere Ramsar, Ribble and Alt Estuaries SPA and Ribble and Alt Ramsar.

The development will have a direct effect on the Hesketh Bank South Brickworks BHS and is adjacent to the Douglas Estuary Biological Heritage site. The supporting information identifies recommendations for habitat creation and mitigation. The development is unlikely to harm, the features for which the sites have been designated provided the CEMP is adhered to.

The proposed development will affect European protected species. Therefore the LPA must assess the development against the three tests set out in the Habitats Regulations. The bat report confirms that buildings 1 and 10 are used as day roosts by Pipistrelle bat. Having reviewed the proposals against the three tests, provided the measures set out in section 9 of the bat report are incorporated into the CEMP and ecological mitigation strategy the proposals will not be detrimental to maintaining the Pipistrelle bat population at favourable conservation status.

The great crested newt report confirms a medium population of great crested newt, a European protected species on the site. The proposals have been reviewed against the three tests and provided the measures set out in section 5 of the GCN report are incorporated into the CEMP and ecological mitigation strategy the proposals will not be detrimental to maintaining the GCN population at favourable conservation status. The submitted landscaping plans should be amended to include species which are more favourable for GCN and the Habitat Management Plan should be amended to include recommendations for the desilting of the GCN ponds.

The submission of copies of Natural England Licences authorising the development to go ahead with regard to bats and great crested newts should be required by condition.

Mitigation for the loss of bird nesting and barn owl roosting habitat will be required which can be incorporated into the Ecological Mitigation Strategy. Invasive species are present on site and their removal should be dealt with within the CEMP. Guidance is provided as to what the CEMP and Ecological Mitigation Strategy should include.

Conditions recommended.

- 2.3 NATURAL ENGLAND (13.05.16) – no objections in principle. Natural England concurs with the view of MEAS that the development is unlikely to have a significant effect on European Protected sites and Appropriate Assessment is not required.
- 2.4 LEAD LOCAL FLOOD AUTHORITY (3.06.16) – no objections in principle as condition 26 on the outline approval requires the submission of drainage details as part of a discharge of conditions application. Prior to designing a surface water drainage scheme for this site, a full ground investigation should be carried out to explore the option of infiltration in preference to discharging to a surface water body. The LLFA Authority should be consulted on the discharge of conditions application when it is received.
- 2.5 DIRECTOR OF LEISURE AND WELLBEING (24/05/16) - No objections in principle to this application subject to conditions relating to the submission of a noise survey, restrictions on hours of construction and dust management.

- 2.6 UNITED UTILITIES (12.04.16) – the current housing layout impacts the public sewerage system on site therefore a solution to this matter should be agreed with UU. In accordance with the NPPF and NPPG the site should be drained on a separate system with foul water draining to the public sewer and surface water draining in the most sustainable way. A condition is recommended for the management and maintenance of SUDS.
- 2.7 POLICE ARCHITECTURAL LIAISON OFFICER (23.03.16) comments provided regarding security considerations within the proposed development. Alterations to the design of the scheme would reduce crime risks.
- 2.8 CANAL AND RIVER TRUST (08.04.16) – no objections or comments to make on the proposed development.
- 2.9 ELECTRICITY NORTHWEST (05.04.16) – there are multiple HV and LV circuits which run through the proposed development site in addition to the existing distribution substation. The applicant is advised that care must be taken when excavating and any circuit diversions must be carried out at the applicant's expense.

3.0 OTHER REPRESENTATIONS

- 3.1 HESKETH BANK AND TARLETON ACTION GROUP (24.04.16) – object to the application on the grounds that the development does not comply with the Council's Local Plan policies. In particular the applicant is proposing to build on land designated as Coastal Zone where residential development is not permitted by policy EN2 in the Local Plan. The development does not comply with Policy EC3 as the development does not include any employment generating uses. HBTAG are concerned that it is not clear how the linear park will be provided. The proposed dwellings are generic house types and not specifically designed for the proposed location. The layout will result in loss of amenity to local residents and is out of character with the local area. The proposal represents over-development of the site and the density is too high for a site that is not well served by public transport. There is no evidence that the scheme meets the policy requirement to provide 20% of dwellings to be suitable for elderly accommodation or the required level of affordable housing. The applicant should be required to develop the brownfield site before the greenfield site. The application fails to address how the public right of way will be protected and enhanced. The scheme will have a detrimental impact on highway conditions within Hesketh Bank and Tarleton.

HESKETH BANK AND TARLETON ACTION GROUP (15.07.16) - Concern expressed about the relationship of the proposed dwellings to existing bungalows in Astland Gardens and impact on Astland Gardens streetscene. The site layout lacks imagination and does not deliver bungalows which are needed within

Hesketh Bank. Local Plan policies prohibit residential building on land designated as Coastal Zone. Proper account is not being taken by the applicant of the landscape history and coastal designations. The scheme does not include any uses other than residential and therefore does not comply with the Local Plan.

HESKETH BANK AND TARLETON ACTION GROUP (25.10.16) – Clarification required over number of dwellings. Object over the scale and orientation of development. Does not conform to national or Local Plan planning policies EN2.5 Coastal Zone, EC3 Rural Development Opportunity, IF2 Linear Park, GN3 Sustainable Development, RS1 Residential development, RS2 Affordable Housing, GN1 Settlement Boundaries. The application also affects a right of way and the increase in traffic will impact on local roads without enough infrastructure to support the proposal and there needs to be further traffic surveys. The design is standard with no link to local distinctiveness and is out of character with neighbouring properties. Density is too high and should be no more than 30 dwellings per hectare. The resultant over-development will have a detrimental impact on local infrastructure and lives of existing and future residents. The development is developer led not plan led.

3.2 In addition I have received 45 neighbour representations objecting to the development on the following grounds:

- Increased traffic along the only road into and out of Hesketh Bank
- Inadequate services in area – dentists, doctors, schools
- Loss of greenfield
- Development in the protected coastal zone (49 dwellings) contrary to Local Plan and the Independent planning Inspectors report into the Local Plan
- Loss of wildlife
- Development not needed as already lots of houses for sale in area
- Increased risk of flooding
- Insufficient drainage, water and electricity capacity in area
- Lack of affordable and specialist houses
- Main road through Hesketh Bank/Tarleton already damaged
- Housing will be too expensive
- Unsympathetic
- Will disturb existing surface water field drains
- Inappropriate to have so many two storey houses adjacent to existing bungalows
- Loss of privacy and overshadowing
- Removal of hedges
- Three storey dwellings unacceptable in this area
- Lack of delivery of a substantial part of the linear park
- Already been traffic accidents on main road and an updated traffic survey needed now that development on Plox Lane built
- Poor design
- The application should also address issues relating to business and leisure requirements of the site

- Lack of masterplanning
- Lack of intrusive investigation into contaminated land on the brownfield site
- Loss of geological heritage site
- Brownfield site should be developed first before greenfield development is undertaken
- Queries about the maintenance of the ditch along the boundary
- Flooding will occur in times of high tide
- No details provided of protection of the BHS and how the linear park will be delivered
- Lack of public transport in area
- No clarity on the provision of future access points to approved houses off Station Road
- Putting safety of pedestrians and cyclists at risk

4.0 SUPPORTING INFORMATION

4.1 The application is supported by the following information:

Habitat Management Plan
 Design and Access Plan
 Arboricultural Impact Assessment
 Statement of Community Involvement
 Planning Statement
 Bat and Barn Owl Survey
 Great Crested Newt and Amphibian Survey
 Viability Assessment
 Affordable Housing Statement

5.0 RELEVANT PLANNING POLICIES

- 5.1 The National Planning Policy Framework (NPPF) and the West Lancashire Local Plan (2012-2027) (WLLP) provide the policy framework against which the development will be assessed.
- 5.2 The site is allocated as EC3 – Rural Development Opportunity site in the Local Plan. The site also includes the following designations:
 EN2.1 Nature Conservation Sites/Major Wildlife Corridor
 EN2.5 Coastal Zone
 EN2.6 Landscape of Local History Importance
 IF2.1 Linear Park
- 5.3 Relevant West Lancashire Local Plan policies:
 SP1 – A Sustainable Development Framework for West Lancashire
 GN1 – Settlement Boundaries
 GN3 – Design of Development
 GN4 – Demonstrating Viability

EC3 – Rural Development Opportunities
RS1 – Residential Development
RS2 – Affordable and Specialist Housing
IF2 – Enhancing Sustainable Transport Choice
IF3 – Service Accessibility and Infrastructure for Growth
IF4 – Developer Contributions
EN1 – Low Carbon Development and Energy Infrastructure
EN2 – Preserving and Enhancing West Lancashire’s Natural Environment
EN3 – Provision of Green Infrastructure and Open Recreation Space
EN4 – Preserving and Enhancing West Lancashire’s Built Environment

In addition the following supplementary documents are material considerations:

SPD – Design Guide (Jan 2008);
SPD – Provision of Public Open Space in New Residential Developments (July 2014); and,

6.0 OBSERVATIONS OF DIRECTOR OF DEVELOPMENT AND REGENERATION

The Site

- 6.1 The site comprises part of a site previously granted outline planning permission for a mixed-use development (2013/1258/OUT). The site itself includes an area of approximately 8 hectares and forms approximately two thirds of the land granted outline planning permission. The site is located within the key sustainable village of Hesketh Bank. It is bound to the north by the West Lancashire Light Railway, a Biological Heritage Site and a fishing pond. To the east is the Douglas Boatyard, public footpath and River Douglas. The southern boundary is denoted by a ditch with a small field and residential development beyond. The western boundary comprises a mix of residential properties, leading off Greenways, Astland Gardens, Station Road, Mill Lane along with Booths supermarket.
- 6.2 The site is irregular in shape and comprises the previously developed land occupied by Alty’s. There is an assortment of buildings on the site, mostly fairly old and in poor condition (brick and corrugated sheet) and used for storage and sales of horticultural material, as well as areas of hardstanding. To the south of this is a greenfield area, the northern section of which incorporates a vegetated area and Great Crested Newt mitigation ponds (required as mitigation for displacement of GCN’s on the Booths site). This area forms the Hesketh Bank Brickworks South Biological Heritage Site and the Coastal Zone. The southern section of the greenfield site is grazing land and rented to a tenant farmer. This part of the site slopes steeply down towards the River Douglas to the west and also to the south. Land along the eastern edge of the application site is also designated as the River Douglas Corridor BHS.

Background

- 6.3 Outline planning permission, with all matters reserved except access, was granted for a mixed use development on the site (comprising, residential, landscaping and public realm creation in the form of a linear park and B1 employment uses) on 30th April 2013 (Ref: 2013/1258/OUT). The outline permission includes 34 conditions and a S106 Agreement that secures the provision of affordable and specialist housing for the elderly subject to viability and an affordable housing scheme, marketing and phasing of the employment land, provision and maintenance of public open space and a primary school contribution if required. No conditions have yet been discharged; however, this Reserved Matters application seeks to include details of some conditions (namely Condition 2 – layout, scale, external appearance and landscaping; Condition 3 – access; Condition 4(c), (d), (e) (f) and (h) – materials, parking, boundary treatment, trees and landscaping including management; Condition 7 – levels; Condition 18 – tree method statement; Condition 20 (landscaping and habitat management plan; Condition 22 – bat and barn owl mitigation; Condition 23 – Great Crested Newt mitigation; Condition 24 – Amphibian Survey).

The Proposal

- 6.4 This is a reserved matters application for the erection of 212 dwellings. The application includes details of site layout, scale, appearance and landscaping. The site is separated into two distinct parts, one accessed off a proposed roundabout on Station Road, utilising the existing access to the Alty's business, the other accessed directly off Hesketh Lane, between 264 and 266 Hesketh Lane. The principle of both these access points has previously been approved under the outline permission for the site.

- 6.5 The proposed dwellings will comprise of:

15 x 2 bed apartments
11 x 2 bed dwellings
137 x 3 bed dwellings
49 x 4 bed dwellings

Of these, 24 units (15 x 2 bed apartments and 9 x 2 bed dwellings) would be provided as affordable housing. These would be shared ownership tenures due to current difficulties in obtaining grant funding for social rented accommodation. This amounts to approximately 11% of the total number of dwellings. The heights of the properties vary, with the vast majority being two storey, although the apartments are three storey and two of the house-types are two and half storey with rooms in the roofspace.

- 6.6 The two distinct residential areas served off separate access points are different in character with the northern part, on the brownfield site, being of a higher density than the southern part. The two areas are separated by public open

space, which is designated as a Biological Heritage Site and provides mitigation ponds for Great Crested Newts. A footpath/cyclepath connects the two residential areas.

- 6.7 A landscaped buffer zone is proposed along the eastern boundary of the southern part of the site, adjacent to the riverbank public footpath, which will form part of a linear park. A footpath/cyclepath is proposed in this area along with wildflower planting and hedgerows.

Principle of Development

- 6.8 The principle of a residential development on the site has already been established through the approval of outline permission under planning reference 2013/1258/OUT. Although the outline permission was for a mixed use development, the approval of the proposed residential development does not prejudice the delivery of a mixed use scheme on the remainder of the site covered by the outline permission. In this regard, the conditions pertaining to the outline permission are still applicable. There have been no significant policy changes in the interim which may have affected this decision, therefore I am satisfied that the principle of development remains compliant with the aims and objectives of the NPPF and Policy RS1 of the Local Plan.

Affordable and Specialist Housing for the Elderly

- 6.9 Provision of 35% affordable housing is required on sites of this scale under the terms of Policy RS2 of the Local Plan in this locality. In addition to this, Policies RS1 and RS2 also require that 20% of new residential units should be suitable for the elderly. Policy is flexible as to how this requirement should be met, and this provision can form part of the affordable housing provision. The outline planning permission included a S106 Agreement that incorporated the above provisions and also included an 80:20 tenure split of social rented to intermediate affordable housing types.
- 6.10 However, a detailed viability assessment has been submitted by the applicant. This initially indicated that the site would not be viable with any affordable or specialist housing for the elderly provision or lifetime homes and therefore 0% was offered. I therefore instructed an independent assessment of the applicant's viability study by Keppie Massey. Keppie Massey found that, after various re-runs of the appraisal, subject to minor differences, the costs and values of the applicant's viability appraisal were acceptable – there are considerable "abnormal" costs associated with the site such as the improvements to Hesketh Lane/Coe Lane and the costs of abnormal foundations. However, they considered the land value to be too high if relocation costs of the business were included. However, this was balanced against the lower profit return to the developer of 15% (as opposed to some profits level being acceptable at 20%). The resulting agreement on viability at the point at which the applicant and landowner are willing to develop the site and the Council's advisors consider to

be acceptable has been reached at 11.3% affordable housing all as shared ownership tenure (24 units).

- 6.11 In terms of specialist housing for the elderly and lifetime homes compliance five of the ground floor apartments would be suitable and the majority of the dwellings have level access and would be constructed to comply with Part M of the Building Regulations regarding accessibility. In addition, the affordable units would be required to comply with Registered Provider's space standards.

Siting, Layout and Design

- 6.12 Policy GN3 in the Local Plan together with the Council's SPD Design Guide states that new development should be of a scale, mass and built form which responds to the characteristic of the site and its surroundings. New development is required to have regard to visual amenity and complement its surroundings through sensitive design, including appropriate siting, orientation and scale.
- 6.13 Concerns have been raised regarding the density of the proposed development; however, the proposed development for 313 dwellings equates to a housing density of 38 dwellings per hectare, which is reasonable for the site given its location within the settlement boundary of this sustainable village and is in accordance with Policy RS1. Various types and size of dwellings are proposed, including 2 bedrooled apartments, 2 bedroom houses and 3, 4 and 5 bed detached houses as a mix of terraced, semi-detached and detached. The two apartment blocks are sited on the northern part of the site, close to the entrance and adjacent to the Booths site. Here, the land rises over the bridge and Booths and its associated car park are elevated so as to ensure the proposed three storeys are not prominent and out of character with the surrounding area. There is a bank of proposed car parking along this boundary, which abuts the existing Booths retaining wall.
- 6.14 Generally there is a good mix of dwellings and adequate interface distances and garden lengths have been provided which ensures acceptable privacy and amenity space standards are compliant with the Council's SPD Design Guide. The proposed layout offers a legible scheme with clear routes for vehicle and pedestrian movement throughout.
- 6.15 The creation of two access points to the site and the creation of the linear park along the eastern boundary provide an opportunity for the site to be permeable in terms of linkages. There is an existing Great Crested Newt mitigation area and Biological Heritage Site in between the two separate residential areas and this area has been treated with sensitivity through the introduction of hedging to offer protection to the area, along with the provision of more formal footpath links through it. The layout of the site ensures that public areas of amenity space are overlooked.

- 6.16 Concerns have been expressed about the design and height of some of the proposed dwellings and it is considered by some local residents that the proposed development does not fit with the character of the area. Whilst I acknowledge concerns about the uniformity of the design and the use of standard house-types and accept somewhat the fact that the use of general house-types is not an innovative design approach, since the surrounding area is not of a specific character, overall I am satisfied that the design and layout of the scheme adheres to the principles within the NPPF and the Local Plan. In terms of height of properties, there are only two house-types that are of 2 and half storey height at 9m (with the houses incorporating dormer or velux windows in the roof space). These are generally within the central part of the northern site. There is a block of 4no 2 and half storey dwellings adjacent to 20 Astland Gardens, which is a bungalow. However these are set 5m from the side boundary of this property, approximately 16m from the side elevation with an intervening shrub and tree screen. In my view, the variety of heights adds interest to the overall scheme, which breaks up the overall uniformity.
- 6.17 Each dwelling benefits from a private amenity area. These generally meet and exceed the recommended garden lengths specified in the Council's SPD, although on some of the plots this is reduced to accommodate a rear pathway. Although some gardens are narrow they are generally commensurate with the size of the dwelling proposed.
- 6.18 Although residents have expressed concerns that a more spacious layout has not been proposed on this village site close to the River with Green Belt beyond, on balance I am satisfied that design, layout and scale maximises the use of the land and complies with relevant local plan policies and the Council's Design Guide and would not significantly adversely affect the character and appearance of the local area.

Impact on Residential Amenity

- 6.19 Policy GN3 in the WLLP requires new development to retain or create reasonable levels of privacy, amenity and sufficient garden/outdoor spaces for occupiers of the proposed and neighbouring properties. Further detailed advice on interface distances is provided within the Council's SPD Design Guide.
- 6.20 In terms of the relationships between the proposed dwellings, I am satisfied that the proposed layout, in general, accommodates the required interface distances. Where this is not the case, I am satisfied that the resulting impact has been designed out by ensuring that the main outlook is focused away from the neighbouring property.
- 6.21 A number of residents immediately adjoining the site have raised concerns about loss of privacy and overlooking. 30 Station Road adjoins the site at the entrance and Plots 90 and 91 sit close to the boundary. The proposed Chedworth house type on Plot 90 includes a ground floor WC and a first floor landing window on the

gable elevation, which will be conditioned to be obscurely glazed to avoid any potential for overlooking of the garden. The proposed Roseberry house type at Plot 91 faces the rear garden of 30 Station Road, however it includes an 11m rear garden and no direct views towards the existing house are afforded.

- 6.22 Planning permission has been granted for residential development at Mill Lane, bordering the site; however I am satisfied that the layout of the proposed development has taken into account development on this land and the relevant interface distances have been adhered to. Likewise, development to the rear of 266 Hesketh Lane for has been approved in outline for two dwellings and this has been taken into account in the design of the layout.
- 6.23 A number of properties along Astland Gardens abut the site. No.s 9-15 Astland Gardens have long rear gardens and interface distances of between 40m and 29m are maintained. A distance of 22m between rear facing windows is maintained to 17 and 19 Astland Gardens in accordance with the Council's SPD Design Guide. However, 19 Astland Gardens is an end property that includes windows to habitable rooms on its gable elevation. The distance between the rear facing windows on the proposed Hanbury house types at Plot 77 and 78 directly facing the gable of 19 Astland Gardens is 20m to the ground floor dining room and 21m to the first floor bedroom in compliance with the Design Guide.
- 6.24 The distance between 20 Astland Gardens and the gable of the proposed house at Plot 72 is 16m and there is one obscure glazed first floor bathroom window on the gable of the Souter housetype, therefore no direct overlooking will occur. Finally, the detached property Over Astland borders a significant length of the western boundary of the site. The blank gable elevations of two Winster housetypes face Over Astland, however the distance between the properties is 25m in compliance with the SPD Design Guide.
- 6.25 In terms of residential amenity, whilst there will be a significant amount of new residential development bordering existing properties, I am satisfied that the proposed development would satisfy the requirements of Policy GN3 in respect of neighbouring amenity.
- 6.26 The main impacts of any significant residential development in this area would be during the construction phase of development in terms of noise; and in the longer term, from increased traffic and use of local services generated by the development. Whilst some noise will be generated during the construction phases, this will be subject to environmental control and condition 17 of the outline permission requires the submission of a Construction Environmental Management Plan (CEMP) which would provide the necessary measures to control noise levels, construction traffic routing etc.

Highways and Parking

- 6.27 The proposed access points to the development from Station Road and Hesketh Lane have already been approved in principle under the outline planning permission as has the impact of the development on highway capacity and safety and there has been no material change in circumstance since this time. All the requirements of the conditions imposed on the outline permission are still applicable relating to the design and provision the accesses as well as the off-site highway improvements – eg. Provision of footways and junction improvements at Hesketh Lane/Church Road.
- 6.28 In terms of parking provision, I am satisfied that each dwelling has been afforded an appropriate parking provision. Some parking will be lost for the existing computer premises at 264 Hesketh Lane, however, three spaces have been provided outside the proposed adoptable highway boundary and access will be afforded to the rear of the property. It should be noted that this property is under the same ownership as the application site at present. Condition 16 of the outline permission requires that a Parking and Management Strategy be submitted to and approved by the Local Planning Authority. The submission of this document will deal with the management of roads and parking areas that will not be adopted by the Highway Authority as well as detailing the parking provision for users of the fishing lake, light railway and linear park on the northern parcel of land not included in this Reserved Matters application. No development to be served off the proposed northern roundabout access on Station Road will be allowed to commence until an acceptable parking strategy has been agreed.
- 6.29 In terms of manoeuvring, the proposed site layout has been considered by the Highway Authority who is satisfied that the general layout is acceptable. The Highway Authority do, however, raise a number of concerns which generally relate to turning heads and the fact that some of the site will not be laid out to adoptable standard. As such, the applicant has stated that a management company will maintain these areas (such as private “shared accesses”). I am satisfied that vehicles can manoeuvre safely within the site and access and egress would not cause adverse harm to highway safety or the free flow of traffic in the local area. On this basis I am satisfied that the proposed is compliant with Policy GN3 and IF2 in the Local Plan.

Trees and Biodiversity

- 6.30 A detailed landscaping scheme has been submitted which includes the layout and planting of the linear park as well as incidental planting within the residential areas which will increase biodiversity and assimilate the development into its semi-rural surroundings. In addition, the majority of TPO trees within the site will be retained (a number of groups of lower quality trees will be removed to accommodate the development along with four TPO trees). A high quality oak tree originally proposed for removal has now been retained with a re-plan of the layout in the area to the rear of Mill Farm.

- 6.31 I am satisfied that suitable compensatory planting has been provided to mitigate for the loss of existing trees. Whilst some details of habitat management have been provided by the applicant, further maintenance details are still required in order to satisfy conditions on the outline planning permission.
- 6.32 The applicant has submitted a number of ecological surveys, which were required to be undertaken as part of the outline planning permission due to the fact that three areas within or adjacent to the site are designated as Biological Heritage Sites and are subsequently subject to Policy EN2.1 (Nature Conservation Sites/Major Wildlife Corridor) as well as being close to the Ribble and Alt Estuaries SPA and Ramsar and the Martin Mere SPA and Ramsar. The proposed development has been assessed under the Habitats Regulations with regards to European protected sites. Although there are pathways that could give rise to likely significant effects, these pathways can be sufficiently addressed by the implementation of a Construction Environmental Management Plan (CEMP). MEAS have advised that provided the correct Health and Safety procedures are in place to protect human health during construction and the CEMP is implemented, the proposed development will have no likely significant effects on the above European protected sites. This view is shared by Natural England.
- 6.33 The proposed development has also been assessed against the three tests set out in the Habitats Regulations for site's affecting European protected species, in this case, bats and Great Crested Newts. MEAS conclude that, provided the measures set out in the bat and Newt reports are implemented, the proposals will not be detrimental to maintaining the local Pipistrelle bat populations and the Great Crested Newt populations at favourable conservation status. Full details of the Habitats Regulations Assessment (HRA) for European Protected sites and species affected by the proposed development can be found on the Council's website. This can be summarised as follows:

HRA for Natura 2000 sites (Martin Mere SPA; Martin Mere Ramsar; Ribble and Alt Estuaries SPA; and Ribble and Alt Estuaries Ramsar)

- Development of the site is unlikely to result in habitat loss by direct land take for the qualifying features. There is sufficient distance between the Ribble and Alt Estuaries SPA and Ramsar sites to the north, and the development site, that the proposals will not have a direct impact on the European protected sites.
- The site is located approximately 100 metres from potentially suitable foraging habitat to the east. The noise levels are estimated to average 75 dB(A) within the site during the construction phase. It is concluded that there would be no likely significant effect as birds have been shown to tolerate continuous noise to a level of approximately 55dB(A) to 85 dB(A) and as the nearest supporting habitat is approximately 100 metres from the proposed site the continuous noise level is likely to have reduced to 35 dB(A). Moreover, the noise is likely to reduce further due to the presence of trees and a river flood bank between

the development site and area of functionally linked land; and the area of supporting habitat extends well beyond this distance offering opportunities for birds to maintain a longer distance away from the proposed works if necessary.

- It is concluded that there would be no likely significant effect on visual disturbance since the proposed site is screened by existing vegetation and an elevated river bank, the development site is 100 metres from the nearest edge of the supporting habitat (this is beyond the distance where significant displacement effects would be expected) and a large number of small boats are moored on the river between the development site and the supporting habitat. Boating activity will already create some visual disturbance; and the site is set into the existing urban landscape, it is not likely to alter the skyline sufficiently to displace feeding birds.
- General good practice and procedures in place to protect human health (such as risk assessments, spill kits and daily machine logs) together with the implementation of a Construction Environmental Management Plan (CEMP) will be sufficient to ensure the designated sites are not harmed by pollutants and therefore no likely significant effect.
- The development is likely to increase the local population by approximately 500 (5%). The development includes public open space which will absorb some of the additional recreational pressure caused by increasing the population. There is also no direct access from the site to the fields to the east. Significant additional recreational disturbance is considered unlikely and therefore no likely significant effect.

HRA – Three tests under Regulation 53 for Bats

- The three tests are:
- Test 1: Regulation 53(2)(e): “*preserving public health or public safety or other imperative reasons of overriding public interest including those of a social or economic nature and beneficial consequences of primary importance for the environment*”. The proposed development will significantly contribute to Local Plan policy EC3 – Rural Development Opportunity. The proposed development will bring some brownfield land back into use and secure long term bat roost provision that would otherwise be lost through continued deterioration of the derelict buildings. This test has been satisfied.
- Test 2: Regulation 53(9)(a): “*that there is no satisfactory alternative*” The buildings must be demolished to enable the erection of new dwellings to ensure the scheme delivers the appropriate number of houses on the site. This test has been satisfied.
- Test 3: Regulation 53(9)(b): “*that the action authorised will not be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in their natural range*” Pipistrelle bat day roosts were recorded in buildings 1 and 10. Provided the measures set out in Section 9 of the bat report are secured by a suitably worded planning condition incorporating them within the CEMP and ecological mitigation strategy, and implemented, the proposals will not be detrimental to maintaining the local

Pipistrelle bat populations at a favourable conservation status. With this mitigation this test has been satisfied.

HRA – Three tests under Regulation 53 for Great Crested Newts

- The three tests are:
- Test 1: Regulation 53(2)(e): “*preserving public health or public safety or other imperative reasons of overriding public interest including those of a social or economic nature and beneficial consequences of primary importance for the environment*” The proposal involves the erection of 211 houses. This will significantly contribute to Local Plan policy EC3 – Rural Development Opportunity. The proposed development will bring some brownfield land back into use and secure the provision of additional Great crested newt habitat. This test has been satisfied.
- Test 2: Regulation 53(9)(a): “*that there is no satisfactory alternative*” The extent of sub-optimal terrestrial habitat must be reduced to ensure the scheme delivers the appropriate number of houses on the site. This test has been satisfied.
- Test 3: Regulation 53(9)(b): “*that the action authorised will not be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in their natural range*” A medium population of Great crested newt is present on site. Provided the measures set out in Section 5 of the Great crested newt report are secured by a suitably worded planning condition incorporating them within the CEMP and ecological mitigation strategy, and implemented, the proposals will not be detrimental to maintaining the local Great crested newt population at a favourable conservation status. With this mitigation this test has been satisfied.

6.34 As well as European protected sites and species, there are other impacts on locally protected sites such as the BHS’s, barn owls and birds. Mitigation has been proposed for the loss of such species within the development through the provision of hibernacula, log piles, bat, barn owl and house martin boxes. This can be secured by condition along with the outline planning conditions that require mitigation. Subject to the imposition of these conditions, I am satisfied that the proposed development is compliant with Policy EN2 of the Local Plan.

Surface Water, Drainage and Flood Risk

6.35 In terms of drainage, there are three main issues on this site. Firstly, it is known that there are water supply issues in the Hesketh Bank area with low water pressure in many areas; secondly, the foul water system is at capacity; and thirdly, there is potential for flood risk adjacent to the tidal River Douglas. At the time the outline planning application was considered, the statutory bodies assessing the impact of the proposed development on the above matters (United Utilities (UU), Environment Agency (EA) and LCC Lead Local Food Authority)) did not raise any objections to the proposal. Stringent conditions were imposed on the outline planning permission requiring details of the surface water

management scheme and compliance with the Flood Risk Assessment submitted. Full details of drainage have not been applied for under this Reserved Matters application; however, such details are required to be agreed prior to commencement of development on the site.

Other Matters

Coastal Zone

- 6.36 Concerns have been raised that residential development is proposed within the part of the southern area of the site close to the River Douglas which is designated as a Coastal Zone in the Local Plan. Policy EN2 of the Local Plan limits development within these areas to that which is essential in meeting the needs of coastal navigation, amenity and informal recreation, tourism and leisure, flood protection, fisheries, nature conservation and/or agriculture. In addition, Policy EN2.5 restricts residential development within Coastal Zones. This matter was considered at outline planning stage and it was acknowledged that the proposal was in part, contrary to this particular Local Plan policy. However, the view was taken that the construction of dwellings within this southern part of the site, still allows for the creation of a linear park close to the river bank for this purpose, and the EA was satisfied there was no issue of flood risk (subject to conditions). In this regard, part of Policy EN2.5 is satisfied. The use of part of the Coastal Zone for housing must be balanced against the need for housing towards the contribution of the Council's five year housing supply within a sustainable location and having regard to the mixed use allocation of the site to deliver up to 270 dwellings. As such, the principle of residential development in this area was considered acceptable.

Local Infrastructure

- 6.37 Local residents are also concerned about the impact of the additional population on local services such as school places and health provision. Again, these issues were considered at outline planning stage and I am satisfied that the relevant bodies were consulted and no significant impact was identified other than the need for primary school places on the basis of a contribution of £350 per dwelling. However, after re-assessing the proposal, LCC subsequently identified that there are sufficient existing primary and secondary places to accommodate the impact of the development and therefore LCC are no longer seeking an education contribution.

Public open space and Linear Park

- 6.38 Policy IF2 of the Local Plan supports the delivery of a Linear Park between Hesketh Bank and Tarleton and it is considered that the site assists in the delivery of part of the Linear Park. The proposed layout indicates that land can be made available along the river bank for the provision of the park with a pedestrian/cycle link through the central BHS (with protection included for Great

Crested Newts) and the residential area on the northern part of the site, to the northern BHS, light railway and lake. As such, the proposal is compliant with Policy IF2.

Phasing

- 6.39 Concern has been expressed about the phasing of the development and clarification regarding the deliverability of the brownfield land has been raised. In terms of the phasing of the residential development, the applicant has stated that they would commence work on the southern part of the site first. I was initially concerned that this would not offer sufficient comfort to ensure that the northern phase (including the brownfield land outside this current Reserved Matters application) would be built out in an expeditious manner. Therefore Condition 6 on the outline planning permission was imposed to ensure that no more than 50% of the open market residential development on the southern phase is commenced prior to the construction of the affordable housing and no more than 90% of the open market housing on the southern phase can be occupied until the affordable development has been completed. Condition 31 also deals with the delivery of a marketing strategy for the employment area and requires that this be submitted to the Council prior to any works commencing on site and that the development be marketed in accordance with the approved strategy. The S106 Agreement also requires that no more than 50% of the total number of dwellings on the southern part of site be constructed until the employment area has been marketed in accordance with the approved marketing scheme for a continuous period of 12 months. Only if the marketing exercise has been completed and no demand been evidenced by employment uses can residential development on the site be completed.

Landscape Character Area

- 6.40 A further concern raised by neighbouring residents is that part of the site lies within a landscape character area of local importance since this site contains the only remaining example of the Hillhouse Coast Boulder Clay Cliff (a shallow cliff cut into the boulder clay as the level of the Irish Sea rose after the retreat of the glaciers). The fact that the area lies within this Landscape Area of Local Importance does not in itself prohibit building upon it and the principle of residential development on the site has been accepted by approval of outline planning permission. I am satisfied that the scale and layout of development is designed to limit the impact on the wider open countryside on the eastern side of the river by development in this instance being limited to two storey and a wide landscaped buffer being provided by the implementation of the linear park between the residential development and the river.

Masterplanning

- 6.41 As was the case when considering the outline planning application, concern has been raised in relation to the requirement by Policy EC3 to prepare a masterplan.

There is no set definition of what constitutes a masterplan or how a masterplanning exercise should be conducted and whilst the indicative masterplan submitted with the outline planning submission did not provide full details of the development of the site, the actual submission of a planning application meant that the process of masterplanning the site began with setting broad parameters for a sustainable mixed development on the site. This subsequent Reserved Matters application, although for only approximately two thirds of the site, clearly deals with the spatial arrangement of residential areas, public open space and the linear park. Whilst the remaining northern part of the site has not been included, I am satisfied that the conditions imposed on the outline permission will ensure that there is the structure yet flexibility in a changing market to ensure a mixed use site is delivered in accordance with Policy EC3 of the Local Plan.

Planning Obligations

- 6.42 The Outline permission granted for the redevelopment of this site is the subject of a S106 agreement requiring the developer to provide a viable level of affordable and specialist housing for the elderly, on-site public open space, marketing and phasing of the employment land and a primary school contribution. These obligations reflected the relevant policy requirements at the time outline permission was granted and remain part of the proposed development which must be delivered in line with the terms of the agreement. Lancashire County Council has confirmed that there is no longer a need for a primary school contribution and therefore a deed of variation is required to remove that obligation from the S106 Agreement.

Summary

- 6.43 In summary, it is considered that the proposed development is acceptable in terms of layout, appearance and scale and that the proposed landscaping scheme will assimilate the development into its surroundings. I am satisfied that the proposed development would allow for the provision and retention of reasonable levels of amenity for the occupants of future and neighbouring properties. I find that the proposed development is compliant with the Local Plan and Habitat Regulations in respect of ecology. The development remains subject to the conditions imposed under the approved outline scheme.

7.0 RECOMMENDATION

- 7.1 That the decision to grant planning permission be delegated to the Director of Development and Regeneration in consultation with the Chairman or Vice Chairman of the Planning Committee subject to a planning obligation (Deed of Variation) under S106 of the Town and Country Planning Act 1990 being entered into as set out in paragraph 6.41 of the report.

- 7.2 That any planning permission granted by the Director of Development and Regeneration pursuant to recommendation 7.1 above be subject to the following conditions:

Conditions

1. The development hereby approved shall be carried out in accordance with details shown on the following plans:-

Plan reference JB-HB-PL01 Rev F (Planning Layout) received by the Local Planning Authority on 31st October 2016;

Plan reference HB-303 (surface treatment plan) received by the Local Planning Authority on 31st October 2016;

Plan reference HB-308-01 (affordable housing plan) received by the Local Planning Authority on 26th October 2016;

Plan reference HB-ESL-01 (engineering plan) received by the Local Planning Authority on 14th March 2016;

Plan reference HB-SPS (site parking plan) received by the Local Planning Authority on 14th March 2016;

Plan reference HB-IFD-01 (interface distances) received by the Local Planning Authority on 18th March 2016;

Plan reference DWFD.01 (dwarf wall) received by the Local Planning Authority on 14th March 2016;

Plan reference SDF05 Rev A (fence) received by the Local Planning Authority on 14th March 2016;

Plan reference SDF12 (fence) received by the Local Planning Authority on 14th March 2016;

Plan reference SDF11-08 (fence) received by the Local Planning Authority on 14th March 2016;

House type plans The Hanbury, The Chedworth, The Hatfield, The Clayton, The Winstar, The Souter, The Morden, The Moseley, The Roseberry, The Rufford, The Clandon, The Apartments all received by the Local Planning Authority on 24th March 2016;

House type plan The Kendal received by the Local Planning Authority on 22nd November 2016;

Plan reference 4711.03 Rev D (Tree Protection Plan 1 of 2) received by the Local Planning Authority on 23rd November 2016;

Plan reference 4711.04 Rev D (Tree Protection Plan 2 of 2) received by the Local Planning Authority on 23rd November 2016;

Plan reference 4711.09 Rev B (Landscape proposals Sheet 1 of 5) received by the Local Planning Authority on 31st October 2016;

Plan reference 4711.10 Rev B (Landscape proposals Sheet 2 of 5) received by the Local Planning Authority on 31st October 2016;

Plan reference 4711.11 Rev B (Landscape proposals Sheet 3 of 5) received by the Local Planning Authority on 31st October 2016;

- Plan reference 4711.14 Rev B (Landscape proposals Sheet 4 of 5) received by the Local Planning Authority on 31st October 2016;
- Plan reference 4711.15 Rev B (Landscape proposals Sheet 1 of 5) received by the Local Planning Authority on 31st October 2016;
2. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) or any subsequent Orders or statutory provision re-enacting the provisions of these Orders no garages, extensions, porches, garden sheds, out buildings, greenhouses, swimming pools, or means of enclosure to the frontage of plots shall be erected or undertaken without the express written permission of the Local Planning Authority.
 3. Prior to the occupation of the dwelling on plot 90, (as shown on plan JB-HB-PL01 Rev F received by the Local Planning Authority 31.10.2016), the ground and first floor gable windows shall be fitted with obscure glass (Pilkington level 3 or equivalent) and shall be non-opening or top hung and shall remain thus fitted at all times thereafter.
 4. Prior to the occupation of the dwelling on plot 72, (as shown on plan JB-HB-PL01 Rev F received by the Local Planning Authority 31.10.2016), the first floor gable window shall be fitted with obscure glass (Pilkington level 3 or equivalent) and shall be non-opening or top hung and shall remain thus fitted at all times thereafter.
 5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) or any subsequent Orders or statutory provision re-enacting the provisions of these Orders no window shall be added to the gable elevation facing 20 Astland Gardens on Plot 72 (as shown on plan JB-HB-PL01 Rev F received by the Local Planning Authority on 31.10.2016) hereby approved until details of the positioning, size and design have been submitted to and approved in writing by the Local Planning Authority.
 6. The development hereby approved shall be undertaken in accordance with the Materials Schedule received by the Local Planning Authority on 22nd November 2016.
 7. The development hereby approved shall be carried out in accordance with the measures identified within the Arboricultural Impact Assessment and Method Statement (Revision D) received by the Local Planning Authority on 23rd November 2016.
 8. The measures contained within the Habitat Management Plan received by the Local Planning Authority on 14th March 2016 shall be implemented throughout the duration of the development.
 9. The mitigation measures outlined at section 5 of the Great Crested Newt and Amphibian Survey and Mitigation Strategy received by the Local Planning Authority on 14th March 2016 shall be implemented throughout the duration of the development.
 10. The mitigation measures outlined at sections 5 and 10 of the Licensed Bat and Barn Owl Survey and Assessment received by the Local Planning Authority on 14th March 2016 shall be implemented throughout the duration of the development.

11. Before first occupation of any dwelling on the site, details of signage to be erected to inform the public of the central area of the Biological Heritage Site shall be submitted to and approved in writing by the Local Planning Authority. For the avoidance of doubt, details of size, number, location and wording shall be provided. The agreed signage shall be implemented in full prior to occupation of the first dwelling.
12. No development shall take place until a construction method statement setting out how Pollution Prevention Guidelines will be followed throughout the construction period to prevent harm to the protected sites has been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented throughout the construction phase of development.
13. No dwelling shall be occupied until details of how the mitigation required under Conditions 9 and 10 above will be managed and funded in perpetuity have been submitted to and approved in writing by the Local Planning Authority. The agreed management shall be implemented thereafter unless otherwise agreed in writing by the Local Planning Authority.
14. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) or any subsequent Orders or statutory provision re-enacting the provisions of these Orders, the garage shall be maintained as such and shall not be converted to or used for living accommodation without the prior written approval of the Local Planning Authority.

Reasons

1. For the avoidance of doubt and to ensure compliance with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
2. The character and location of the properties are such that the Local Planning Authority wish to exercise maximum control over future development in order to comply with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
3. To protect the privacy of adjacent residential properties and so comply with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
4. To protect the privacy of adjacent residential properties and so comply with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
5. To protect the privacy of adjacent residential properties and so comply with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
6. To ensure that the external appearance of the building(s) is satisfactory and that the development therefore complies with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
7. To protect the trees and shrubs and thereby retain the character of the site and the area and to ensure that the development complies with the provisions of Policies GN3 & EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.

8. In the interests of nature conservation and to ensure compliance with the provisions of Policies GN3 & EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
9. To safeguard a protected species and so ensure that the development complies with the provisions of Policy EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
10. To safeguard a protected species and so ensure that the development complies with the provisions of Policy EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
11. In the interests of nature conservation and to ensure compliance with the provisions of Policies GN3 & EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
12. In the interests of nature conservation and to ensure compliance with the provisions of Policies GN3 & EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
13. To safeguard a protected species and so ensure that the development complies with the provisions of Policy EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
14. To allow for vehicles visiting the site to be parked clear of the highway and to ensure that the development complies with the provisions of Policies GN3 & IF2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.

Notes

1. The development approved by this permission may be liable to a Community Infrastructure Levy, which is payable after development begins. If your scheme is liable, and you have not already done so, you must submit an Assumption of Liability Notice to the Council before development commences. If your scheme is issued with a CIL charge, it is essential you submit a Commencement Notice to the Council before the development commences. Any application for relief or exemption should also be submitted before commencement.

The Council will impose penalties where the correct forms are not submitted, or are late, or where the information provided is inaccurate.

All forms are available at <http://www.westlancs.gov.uk/planning/planning-policy/community-infrastructure-levy/the-cil-process.aspx> and once completed, should be emailed to CIL@westlancs.gov.uk.

Further information on CIL can be found at www.westlancs.gov.uk/CIL or by contacting the Council's CIL and S106 Officer on CIL@westlancs.gov.uk or tel: 01695 585171.

2. Your attention is drawn to the fact that the Conditions that were imposed on the Outline planning permission for this development still apply and must be complied with in the implementation of this approval.

Reason for Approval

1. The Local Planning Authority has considered the proposed development in the context of the Development Plan including, in particular, the following Policy/Policies in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document:

SP1 - A Sustainable Development Framework for West Lancashire
GN1 - Settlement Boundaries
GN3 - Design of Development
GN4 - Demonstrating Viability
EC3 - Rural Development Opportunities
RS1 - Residential Development
RS2 - Affordable and Specialist Housing
IF2 - Enhancing Sustainable Transport Choice
IF3 - Service Accessibility and Infrastructure for Growth
IF4 - Developer Contributions
EN1 - Low Carbon Development and Energy Infrastructure
EN2 - Preserving and Enhancing West Lancashire's Natural Environment
EN3 - Provision of Green Infrastructure and Open Recreation Space
EN4 - Preserving and Enhancing West Lancashire's Built Environment

together with Supplementary Planning Guidance and all relevant material considerations. The Local Planning Authority considers that the proposal complies with the relevant Policy criteria and is acceptable in the context of all relevant material considerations as set out in the Officer's Report. This report can be viewed or a copy provided on request to the Local Planning Authority.

No.3 APPLICATION NO.	2016/0832/FUL
LOCATION	Former Silver Birch Hotel Flordon Birch Green Skelmersdale Lancashire WN8 6PB
PROPOSAL	Demolition of existing vacant commercial building and construction of mixed use development comprising 4 no. retail/commercial units and 18 no. self-contained apartments with associated car parking and landscaping.
APPLICANT	Berrington Hall Ltd
WARD	Birch Green
PARISH	Unparished - Skelmersdale
TARGET DATE	24th November 2016

1.0 CONSULTEE RESPONSES

- 1.1 ENVIRONMENTAL HEALTH OFFICER (30/9/16) – No objection in principle, however, some concerns that the residential units above the retail units could be subjected to noise from the units below. As such, conditions are recommended that address details of noise protection measures for the future occupants along with restrictions on the hours of opening/deliveries for the retail units, restriction of the construction hours and details of a lighting scheme.
- 1.2 LCC HIGHWAYS (4/10/16) – No objections in principle. Recommend conditions relating to a wheel wash facility, marking out and surfacing of the car park and external lighting being screened from the view of drivers and pedestrians.
- 1.3 UNITED UTILITIES (21/9/16) – No objection subject to conditions being attached which require the drainage of foul and surface water on separate systems, the submission of a surface water drainage scheme based on the hierarchy of drainage options in the NPPF and details of a sustainable drainage management and maintenance plan.
- 1.4 PRINCIPAL DRAINAGE ENGINEER (26/10/16) – No objection subject to conditions being attached for details of a foul and surface water drainage scheme and details of a sustainable drainage management and maintenance plan.
- 1.5 SCIENTIFIC OFFICER (27/10/16) – No objections in relation to any possible contamination issues relating to the former use of the site.

- 1.6 LCC PLANNING CONTRIBUTIONS – SCHOOL PLANNING TEAM (17/11/16)
No education contribution required.

2.0 OTHER REPRESENTATIONS

- 2.1 None.

3.0 RECENT RELEVANT PLANNING HISTORY

- 3.1 2012/0718/FUL GRANTED - Single storey side extension. Formation of 2 no. additional windows and bricking up existing garage to front. Formation of additional door to side elevation.

4.0 SUPPORTING INFORMATION

- 4.1 The following documents have been submitted in support of the planning application:

Affordable Housing Viability Statement
Arboricultural Impact Assessment
Ecological Survey
Bat Survey and Assessment
Planning, Design and Access Statement

5.0 LOCAL PLAN ALLOCATION

- 5.1 National Planning Policy Framework (NPPF), National Planning Practice Guidance (NPPG) and the West Lancashire Local Plan 2012-2027 DPD (WLLP) provide the policy framework against which the development proposals will be assessed.
- 5.2 The site is located within Regional Town of Skelmersdale with Upholland as designated in the West Lancashire Local Plan DPD 2012-2027. The following policies are therefore relevant:

National Planning Policy Framework (NPPF)

Building a strong, competitive economy
Ensuring the vitality of town centres
Promoting sustainable transport
Delivering a wide choice of high quality homes
Requiring good design
Promoting healthy communities
Conserving and enhancing the natural environment

West Lancashire Local Plan (WLLP) 2012-2027 DPD

GN1 - Settlement Boundaries
GN3 - Criteria for sustainable development
GN5 – Sequential Tests

EC1 - The Economy and Employment Land
RS1 – Residential Development
RS2 – Affordable and Specialist Housing
IF1- Maintaining Vibrant Town and Local Centres
IF2 - Enhancing Sustainable Transport Choice
IF3 - Service Accessibility and Infrastructure for Growth
IF4 – Developer Contributions
EN4 - Preserving and Enhancing West Lancashire’s Natural Environment

Supplementary Planning Document – Design Guide (January 2008)

6.0 OBSERVATIONS OF DIRECTOR OF PLANNING AND REGENERATION

The Site

- 6.1 The site comprises of the former Silver Birch Public House and car park which has been vacant for approximately two years. It was in the process of being converted to an Indian restaurant, however the building suffered significant fire damage during its conversion and works for its conversion have now ceased. It is located on a corner plot with Flordon and Birch Green Road and occupies an elevated position above Birch Green Road. There is a large car park to the east of the site with a public footpath and a block of residential flats to the south. To the west is a grassed area with a belt of trees upon it. This grassed area slopes down to Birch Green Road. There is a residential block of flats beyond on the opposite side of Birch Green Road.

The Proposal

- 6.2 Planning permission is sought for the demolition of the existing two-storey building and redevelopment of the site with a four-storey ‘L’-shaped building comprising of 4 no. ground floor retail units and 18 no. apartments. The building has been designed predominantly with a flat roof, however a mono-pitched roof is included over the southern aspect of the building and part of the northern aspect. The maximum height of the building is 13.1m. The retail units are of varying size with the southern unit being the largest at 187.1m². All of the 4 retail units have their shop frontage overlooking the car park. The apartments above are split over 3 levels with 6 no. apartments on each level. The existing access off Flordon will be modified as will the existing car park.

Principle of Development

Principle of Development - Loss of Community Facility

- 6.3 Policy IF3 in the WLLP states that the loss of any community facilities such as pubs, post offices etc. will be resisted unless it can be demonstrated that the facility is no longer needed, or can be relocated elsewhere that is equally accessible by the community.

- 6.4 The Planning, Design and Access Statement submitted with the application states that the premises have been vacant for approximately two years. Therefore, the loss of the pub as a community facility has already occurred in this locality some time ago. I accept this argument. In addition, my observations of the site are that it has become an eyesore within the community and attracts anti-social behaviour. The proposed development will provide the opportunity for 4 separate retail businesses to locate on the site which will provide facilities for the existing community and the future occupants of the proposed apartments. Consequently, I am satisfied that the proposal is compliant with Policy IF3.

Principle of Development - Residential

- 6.5 Policy GN1 of the WLLP states that within settlement boundaries, development on brownfield land will be encouraged subject to other relevant Local Plan Policies being satisfied.
- 6.6 Policy RS1 of the WLLP states that residential development will be permitted within the Regional Town of Skelmersdale.
- 6.7 The principle of residential development in this location is therefore acceptable.

Principle of Development - Retail

- 6.8 Members should be aware that if this planning application had not been submitted for the redevelopment of the site, the last use of the premises as an A4 (Public House) could change to Class Use A1 (Retail) without the need to acquire planning permission as this would be permitted development under Part 3, Class A of the Town and Country Planning (General Permitted Development) (England) Order 2015.
- 6.9 Policy GN5 of the WLLP and paragraph 24 of the NPPF set out a sequential approach to the location of new retail development. Paragraph 24 of the NPPF requires a sequential test where planning applications for '*main town centre uses that are not in an existing centre and are not in accordance with an up-to-date Local Plan*'. Applications for main town uses should be located, where possible, within town centres in the first instance. The order of preference for the sequential approach is:-

first, locations within existing town centres
second, edge of centre locations, with preference given to accessible sites that are well connected to the centre; and then
out-of-centre sites, only in circumstances where there are no in-centre or edge-of-centre sites available. Preference should be given to accessible sites that are well-connected to the town centre.

- 6.10 The application site is not within or on the edge of an existing centre, therefore the proposed retail units are in principle unacceptable in this location if there are available and suitable sites within or on the edge of existing centres in Skelmersdale.
- 6.11 The application is not supported by a sequential search for alternative sites in the preferred locations as set out by Policy GN5 and the NPPF. The Planning, Design and Access Statement states that it would be unreasonable to refuse planning permission due to the absence of a sequential search, given the fallback position of the existing building being able to be converted to retail use without the need for planning permission. The statement goes on to say that although 4 separate retail units would be created, the actual increase in the total amount of potential retail floorspace is nominal at 7m².
- 6.12 The 'fallback' position is a material planning consideration when determining planning applications; therefore this argument does carry some weight. However, the proposed scheme could not be achieved through permitted development. Therefore, the Local Planning Authority needs to consider whether the proposal warrants a refusal due to the lack of a sequential search.
- 6.13 This area of Skelmersdale is not served by any local centre within walking distance (the nearest local centre is Ashurst to the far north). In fact, the town centre would be the nearest option for residents within this area requiring retail goods. Owing to the size of the proposed retail units it is likely that they will serve as convenience stores for the local residents and would not necessarily take custom from the town centre. This is because the retail units within The Concourse are generally larger and attract the more well-known chain stores.
- 6.14 When taking the aforementioned points into consideration along with the reality that a retail use could be provided on this site without any jurisdiction from the Local Planning Authority, I consider that a sequential search is not necessary in this instance. Furthermore, by allowing the proposed development the Local Planning Authority gain some control over the site and will be in a position to control noise, hours etc. which is important on this site due to the neighbouring residential properties. In addition, the proposed development would provide employment within this area, would generate much needed housing and would remove premises that have become an eyesore within the area attracting anti-social behaviour. Therefore, on balance, I consider that a departure from the need for a sequential search is justified in this instance.

Affordable Housing

- 6.15 Policy RS2 of the WLLP requires 20% of the units within developments of 15 or more to be affordable in this area of Skelmersdale. The proposal does not include any affordable housing and has been supported by a Viability Assessment. This has been independently assessed by external Consultants who concur in their

report that the development is not financially viable to support any affordable housing.

Design, Scale and Layout

- 6.16 Policy GN3 of the WLLP together with the Council's SPD Design Guide state that new development should be of a scale, mass and built form which responds to the characteristics of the site and its surroundings. Care should be taken to ensure that buildings do not disrupt the visual amenities of the street scene because of their height, scale or roofline.
- 6.17 The proposed building will be four-storeys high and will incorporate a staggered roofline and elevations. This creates a building with varying facades and of a contemporary appearance. A combination of brickwork, render, powder-coated aluminium and timber cladding will form the elevations which will assist in creating an aesthetically pleasing building within this area.
- 6.18 The surrounding area is characterised by residential development that is a mix of four-storey blocks of flats and two-storey properties which are finished in a buff/cream render. Therefore, although the building will be four-storeys high (max 13.1m) I consider that this will not appear overly dominant within the area, particularly given the close proximity of the residential block immediately to the south of the site which is approximately 1.5m lower than the tip of the proposed building. Sitting relatively central within the plot the proposed building will not appear dominant or over bearing when viewed from Birch Green Road to the west or Flordon to the east.
- 6.19 A small landscaped garden will be provided to the west and a separate access to the apartments is located off the eastern elevation. Separate areas for domestic storage and refuse have been indicated on the site layout plan.
- 6.20 Overall therefore, I am satisfied that the design, scale and layout of the building is acceptable and in accordance with Policy GN3 of the WLLP and the SPD Design Guide.

Impact upon Residential Amenity

- 6.21 As referred to above, the building immediately adjacent the site on its southern aspect is a four-storey block of flats. This is located approximately 9m away from the proposed building and has principal windows on its facing elevation. The proposed building also incorporates windows on its elevation facing towards these neighbouring flats. However, the siting of the building is such that it is set back from the adjacent residential block, therefore there will be no direct overlooking between the two premises and it should not appear overbearing for occupants of the neighbouring flats.

- 6.22 The retail units have the potential to create additional noise within this locality. Therefore, conditions will be attached to control noise for the existing neighbouring residents and the future occupants of the proposed apartments. Hours of opening of the retail units will also be restricted. Consequently, there should be no detrimental impact upon the residential amenity of the neighbouring properties or the future occupants of the proposed apartments.

Car Parking and Highway Safety

- 6.23 The car parking area will remain on the western side off the site and will be accessed via Flordon. Based on the proposed floorspace of the retail units, a minimum of 18 no. car parking spaces and a maximum of 25 no. car parking spaces would be required (dependent on their retail use) to serve the retail aspect of the development. For the residential aspect, as the car parking will be communal, 12 no. car parking spaces are required. This therefore results in a minimum of 30 no. car parking spaces to serve the proposed development.
- 6.24 A total of 29 no. car parking spaces including 1 no. disabled space are shown on the site layout plan. Secure cycle storage/parking is also provided. Therefore, whilst the development is marginally short of the recommended car parking standards as defined in Policy IF2 of the WLLP, given the low percentage of car ownership within Skelmersdale, the accessibility of the site by foot to a large population and the close proximity of the site to a bus stop on Birch Green Road, I am satisfied that adequate car parking has been provided for the proposed development.

Drainage

- 6.25 In terms of the principle of development relating to flood risk, the application site is entirely within Flood Zone 1, the least susceptible to flood risk. The application form states that the final drainage scheme will be confirmed as part of the construction phase. Such a scheme can be secured by condition and will require the NPPF's hierarchical approach to be applied.

Ecology

- 6.26 Policy EN2 of the WLLP states that where there is reason to suspect that there may be a priority species, or their habitat, on or close to a proposed development site, planning applications should be accompanied by a survey assessing the presence of such species and, where appropriate, make provision for their needs. Given the proximity of the building to a band of semi-mature trees and the proposed demolition of the building, an Ecological Survey and Bat Assessment have been undertaken. The bat survey concluded that the building has moderate bat roost potential but no bats were currently roosting in the building at the time of the survey in June 2016. Recommendations have been made to maintain the local bat population at a favourable conservation status. Other recommendations are made within the preliminary Ecological Survey to protect breeding birds. On

this basis, I am satisfied that the proposal is compliant with Policy EN2 of the WLLP.

Trees

- 6.27 The site has a double row of trees consisting of semi-mature Limes and Hornbeams on the Birch Green Road side. The Limes on the inside of the site have been previously topped and have approximately 5 years regrowth. The north west corner of the proposed apartment block extends close to two of the Lime trees and there is some encroachment in to the Root Protection Area (RPA) as detailed and shown on the tree constraints plan in the AIA.
- 6.28 The Council's Arboricultural Officer has assessed the proposed development in relation to the trees and considers it feasible to undertake works in the RPA with limited risk to the health of the adjacent trees.
- 6.29 In the future there may be pressure to remove one or two trees where the building is close to the trees due to potential conflicts with shading and light obstruction. In the event of this, the Arboricultural Officer has advised that some removal in response to daylight issues would not lead to any significant loss of amenity. On this basis I do not consider that there will be a detrimental impact on the neighbouring trees and the proposal complies with Policy EN2 in this respect.

7.0 SUMMARY

- 7.1 The residential element of the proposed development is acceptable and based on the viability assessment there is no requirement to provide any affordable housing. The retail units do conflict with Policy GN5 in that no sequential search has been carried out for alternative sites in the town or local centres. However, this has been justified on the basis that the change of use of the premises to retail is in fact permitted development, and the proposed retail aspect would support much needed housing whilst also retaining an employment generating use on the site and removing an eyesore from the area. Subject to conditions, adequate levels of residential amenity will be provided for the future occupants of the apartments and the existing residential properties that neighbour the site. The proposed level of car parking is satisfactory within this location. The proposed development will preserve protected species and their habitats through the imposition of conditions. Drainage of the site will also be secured by condition. Therefore, the proposal complies with relevant policies in the WLLP and the relevant paragraphs of the NPPF.

8.0 RECOMMENDATION

- 8.1 That planning permission be GRANTED subject to the following conditions:

Conditions

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.
2. The development hereby approved shall be carried out in accordance with details shown on the following plans:-

Plan reference 1484 PL012 received by the Local Planning Authority on 5th August 2016.

Plan reference 1484 PL013 Rev A received by the Local Planning Authority on 24th August 2016.

Plan reference 1484 PL014 Rev A received by the Local Planning Authority on 24th August 2016.

Plan reference 1484 PL016 received by the Local Planning Authority on 24th August 2016.

Plan reference 1484 PL017 received by the Local Planning Authority on 24th August 2016.

3. Before any works take place on the construction of the building, details and samples of the proposed materials shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be used to construct the building.
4. Prior to commencement of any part of the development hereby approved, including site clearance, ground preparation, or drainage works, a facility shall be provided by which the wheels of all vehicles leaving the site can be cleaned. The wheels of all vehicles leaving the site during all stages of implementation shall be cleaned so that they do not carry any mud, soil, grit or other such materials onto the public highway.
5. The car park shall be surfaced or paved and the car parking spaces and manoeuvring areas marked out in accordance with the approved plan, before the use of the premises hereby permitted becomes operative.
6. Before works commence on the building a scheme detailing the proposed lighting to be installed on the site shall be submitted to and approved in writing by the Local Planning Authority. Any external source of lighting shall be effectively screened from the view of a driver and pedestrians on the adjoining public highway. All external lighting shall be installed and maintained in accordance with the agreed scheme
7. No part of the development shall be occupied until all the highway works within the adopted highway have been constructed in accordance with a scheme that shall be submitted to and approved by the Local Planning Authority in consultation with the Highway Authority as part of a section 278 agreement, under the Highways Act 1980.
8. Foul and surface water shall be drained on separate systems.

9. Prior to the commencement of any development, a surface water drainage scheme, based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions shall be submitted to and approved in writing by the Local Planning Authority.
The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards. In the event of surface water draining to the public surface water sewer, the pass forward flow rate to the public sewer must be restricted to the Greenfield run-off rate.
10. Prior to the commencement of the development a sustainable drainage management and maintenance plan for the lifetime of the development shall be submitted to the Local Planning authority and agreed in writing. The sustainable drainage management and maintenance plan shall include as a minimum:
 - a. The arrangements for adoption by an appropriate public body or statutory undertaker, or, management and maintenance by a Resident's Management Company; and
 - b. Arrangements concerning appropriate funding mechanisms for its ongoing maintenance of all elements of the sustainable drainage system (including mechanical components) and will include elements such as ongoing inspections relating to performance and asset condition assessments, operation costs, regular maintenance, remedial works and irregular maintenance caused by less sustainable limited life assets or any other arrangements to secure the operation of the surface water drainage scheme throughout its lifetime.

The development shall subsequently be completed, maintained and managed in accordance with the approved plan.
11. Prior to the commencement of the use details of any mechanical ventilation or other plant to be installed in the premises shall be submitted and approved in writing by the Local Planning Authority. No other systems shall be installed thereafter without the express written consent of the Local Planning Authority. The details required by this condition shall include measures to ensure that any such systems are acoustically isolated from the fabric of the building to minimise the possibility of structure borne sound and vibration.
12. Before development commences details of the measures to protect the proposed residential dwellings from noise from the retail ground floor uses and internal lift shall be submitted to and approved in writing by the Local Planning Authority. The Scheme should include the standard for constructing the party floor/ceiling between the ground floor and the first floor, the standard for constructing the internal wall separating the lift shaft and bedroom accommodation and acoustic glazing of habitable room windows together with acoustic ventilation. The approved details shall be implemented prior to occupation of any of the residential dwellings and shall thereafter be retained.

13. Deliveries of goods/services and collections of waste from the premises shall only take place between the hours of 0800 and 2000 Monday to Saturday and at no time on Sundays and Bank Holidays.
14. The retail use hereby permitted shall only take place between the hours of 0800 hours and 1900 hours Monday to Friday and 0900 hours and 1800 hours on Saturdays, Sundays and Public/Bank Holidays.
15. The recommendations contained in section 7.0 of the Preliminary Ecological Appraisal by Ascerta (June 2016) and the recommendations contained within section 6.0 of the Bat Survey and Assessment by Ascerta (August 2016) shall be implemented in full throughout the duration of the development.

Reasons

1. Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.
2. For the avoidance of doubt and to ensure compliance with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
3. To ensure that the external appearance of the building(s) is satisfactory and that the development therefore complies with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
4. To avoid the possibility of the public highway being affected by the deposit of mud and/or loose materials thus creating a potential hazard for road users and to ensure that the development complies with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
5. To allow for the effective use of parking areas and to ensure that the development complies with the provisions of Policies GN3 & IF2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
6. To avoid glare, dazzle or distraction to passing motorists and pedestrians.
7. To safeguard the safety and interests of the users of the highway and to ensure that the development complies with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
8. To ensure that the site is properly drained in the interest of local amenity and that the development, therefore, complies with the provisions of Policies GN3 & IF3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
9. To ensure that the site is properly drained in the interest of local amenity and that the development, therefore, complies with the provisions of Policies GN3 & IF3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
10. To manage flooding and pollution and to ensure that a managing body is in place for the sustainable drainage system and there is funding and maintenance mechanism for the lifetime of the development and so to comply with the provisions of Policies GN3 & IF3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
11. To safeguard the amenity of adjacent properties and the area generally and so comply with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.

12. To safeguard the amenity of adjacent properties and the area generally and so comply with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
13. To safeguard the amenity of adjacent properties and the area generally and so comply with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
14. To safeguard the amenity of adjacent properties and the area generally and so comply with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
15. To safeguard a protected species and so ensure that the development complies with the provisions of Policy EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.

Reason for Approval

1. The Local Planning Authority has considered the proposed development in the context of the Development Plan including, in particular, the following Policy/Policies in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document:

GN1 - Settlement Boundaries

GN3 - Criteria for sustainable development

GN5 - Sequential Tests

EC1 - The Economy and Employment Land

RS1 - Residential Development

RS2 - Affordable and Specialist Housing

IF1- Maintaining Vibrant Town and Local Centres

IF2 - Enhancing Sustainable Transport Choice

IF3 - Service Accessibility and Infrastructure for Growth

IF4 - Developer Contributions

EN4 - Preserving and Enhancing West Lancashire's Natural Environment

together with Supplementary Planning Guidance and all relevant material considerations. The Local Planning Authority considers that the proposal complies with the relevant Policy criteria and is acceptable in the context of all relevant material considerations as set out in the Officer's Report. This report can be viewed or a copy provided on request to the Local Planning Authority.

No.4 APPLICATION NO.	2016/0769/ARM
LOCATION	Land To The East Of Whalleys Road Skelmersdale Lancashire
PROPOSAL	Approval of Reserved Matters - Residential development of 202 units comprising 2, 3 and 4 bed properties with associated roads, footpaths and landscaping.
APPLICANT	Keepmoat Homes Ltd
WARD	Ashurst
PARISH	Unparished - Skelmersdale
TARGET DATE	15th November 2016

1.0 PREVIOUS RELEVANT DECISIONS

- 1.1 2013/1050/WL3- Outline application (with all matters reserved) for a residential development consisting of up to 630 dwellings together with associated open space and landscaping. GRANTED 28.08.2014
- 1.2 1999/0772 - Outline - Residential development and footpath/bridlepath. Withdrawn 02.08.2005
- 1.3 1998/0216 - Outline - Residential development. Withdrawn 02.08.2005
- 1.4 1994/0258 - Outline - Residential development (including means of access and landscaping). Refused 23.06.1994
- 1.5 Dalton Park (adjacent to site) - 1996/0382 (Granted 16.10.1996) Reserved Matters - Residential development (104 dwellings) with public open space & estate road.
- 1.6 Dalton Park (adjacent to site) -1993/1165 (Granted 15.03.1995) Outline - Residential development including details of access points.

2.0 CONSULTEE RESPONSES

- 2.1 LCC HIGHWAYS (25.10.16) - the Highway Authority has no objections in principle to the proposed development. However the proposed access has been relocated 70-80 m south to the position indicated on the outline scheme and due to the tight right angled bend on the proposed access off Whalleys Road, the applicant should provide a swept path analysis to prove large twin axle vehicles can pass without conflict. The position of the revised site access means that the

position of the Toucan crossing will need to be reconsidered along with the addition of a link footpath on the western side of Whalleys Road to link the bus stop with the Toucan Crossing. This will need to be approved by the Highway Authority as part of a S278 Agreement.

2.2 The applicant will need to demonstrate that sight lines of 2.4m x 43m can be provided in both directions on land within the applicant's control or over the adopted highway. Pedestrian crossing points are required at the new access. The footpath linking to Whalleys Road should be a 3.5m wide shared use footpath/cycleway. Additional cycle links should be provided to link with the proposed cycle path on Beacon Lane. Traffic calming measures inside the site should take the form of junction tables with bollards. The submitted plans show adequate off road parking is provided for the proposed dwellings. Conditions recommended.

2.3 THE COAL AUTHORITY (9/9/16) – the application falls within a high risk area and the site is likely to have been subject to historic unrecorded coal mining at shallow depth. Records show the presence of a recorded mine shaft in or within 20m of the site boundary. The Coal Authority notes that the outline permission was subject to a condition requiring intrusive site investigation works. Although the Coal Authority notes that a survey has been carried out they are of the opinion that it fails to address the situation regarding the mine entry within the site.

THE COAL AUTHORITY (10/10/16) - On the basis that the recorded mine entry does not affect the proposed site layout and that all other coal mining legacy related issues are able to be addressed as part of the discharge of conditions process, the Coal Authority withdraws its objection to this planning application.

2.4 UNITED UTILITIES (22/09/16) - No objections subject to the imposition of recommended conditions.

2.5 LEAD LOCAL FLOOD AUTHORITY (31.10.16) - The LLFA Authority object to the proposed development as it would result in excessive culverting and building adjacent to an ordinary watercourse. The applicant has not demonstrated that overland flow from the east of the development site can be responsibly captured and dealt within in a manner that does not increase flood risk on and off the development site. The applicant has also failed to provide adequate information to assess the principle of the surface water drainage of the proposed development site as it has not been clearly demonstrated how surface water will be managed on site, satisfying the principles of paragraph 103 of the NPPF and paragraph 80 of section 10 of the PPG. (*Amended plans have been received showing revised scheme.*)

2.6 MERSEYSIDE ENVIRONMENTAL ADVISORY SERVICE (25.10.16) - The applicant has submitted an ecological survey and report which is acceptable in principle and identifies that no evidence of bat roosts was recorded within the

site. However if works to trees are not completed by May 2017, an updated bat and breeding bird survey will be required. The proposed bat mitigation works are acceptable in principle. The landscaping scheme requires some amendment in order to fully enhance biodiversity on site. Conditions recommended.

- 2.7 DIRECTOR OF LEISURE AND WELLBEING (22.10.16) - no objections to the application in principle. However further ground monitoring has been requested. Conditions recommended.

3.0 OTHER REPRESENTATIONS

- 3.1 CPRE West Lancashire District Group (14.09.16) - request that the proposals be rejected and the Council seek an improved design for the site. The outline application was for the erection of up to 630 dwellings on the whole of the Whalleys site. The indicative number of houses proposed on this site was 177. The application does not appear to include sufficient buffer planting to the north or east of the site. The screen planting to the Beacon Lane frontage is limited and the cycleway/footway will impact on the existing hedge boundary at this point. The proposed site access is dangerous. The layout seems to allow access to the protected land to the east. Three storey development on the highest parts of the site is regrettable and would be visually intrusive. The development density is too high for a site at the rural/ urban fringe.

- 3.2 DALTON PARISH COUNCIL (15.09.16) - the Parish Council comments can be summarised as follows:

Traffic-the development will encourage traffic to use Beacon Lane and routes through Dalton Village, with significant detrimental impact on traffic movements through the village. The roads through Dalton are totally unsuitable for the high number of vehicle movements which would be generated by the development.

Eastern boundary-the buffer planting zone is in the adjoining field and not in the application site. There appears to be access to the neighbouring field which is protected land. Doubt is cast as to whether the development maintains or enhances the distinctive character and visual quality of the landscape character area.

Northern boundary- Beacon Lane is one of Lancashire's historic sunken roads so is of great significance. It is also designated as a wildlife corridor and the proposal should adhere to the relevant policy in the Local Plan. The development encroaches on this wildlife corridor and a wider buffer zone is needed as it would soften the rural/urban boundary and benefit biodiversity. The cycleway is too close to existing trees and will result in removal of hedgerow.

Number and type of houses- there has been a significant increase in the number of houses from 186 on the indicative plans at outline stage to 202. Affordable housing should be close to amenities and not on the outskirts of a settlement.

The density is too high for the rural/urban fringe and 3 storey houses would be too prominent and visually harmful.

3.3 I have received a substantial number of representations from local residents (68) in respect of this application. The objections received can be summarised as follows:

There has been a 25% increase in the number of dwellings proposed on the site since the start of the outline planning application process.

Not enough buffer areas around the site.

Too high density.

Layout relies heavily on frontage parking with hardly any garages – not a mixed development.

No advantage taken of orientation to take advantage of solar gain.

Minimal tree planting.

Doesn't respect character of local area.

Will make flooding problems worse in local area.

Insufficient public open space on the site.

Lack of a buffer zone fronting Beacon Lane.

Obvious skyline development such as that existing on Kestrel Mews was said to never be allowed to happen again yet it is on this development.

Layout allows for easy extension into protected land in the future, which is not the intention of protected land.

Layout fails to take into account shallow mine workings.

Beacon Lane is already busy and the proposed cyclepath just empties onto it and there are no pedestrian footpaths so it is an accident waiting to happen.

The layout blocks the potential for any bridlepath link between Tawd Valley Park and Beacon Park.

The development does not compliment and enhance any attractive attributes of its surroundings through sensitive design and the development is at odds with the intentions of all involved throughout the consultation.

This is a wasted opportunity to develop a valuable, visible and strategic site with the best that planning and design should be able to provide.

Beacon Lane and Whalleys Road frequently look like rivers and properties west of the site frequently flood, this is even with the site acting like a large soakaway, so this water has to go somewhere, which can only be downhill onto surrounding estates.

Lack of communication and consultation.

The culvert the surface water is intending to go to gets blocked and cannot take any more water.

Loss of wildlife on the site.

More should be done to encourage wildlife on the site, such as frogs and hedgehogs.

Inadequate SuDs system proposed.

Increased traffic, particularly travelling along Beacon Lane and Higher Lane through Dalton.

Insufficient capacity in local schools/shops/doctors to accommodate the development.

Loss of agricultural land.

Dalton's country lanes should not be used as a rat run.

The 20m buffer zone and surface water pipes should not be put in the protected land but should be put in the actual site.

Proposed houses and cyclepath along the northern boundary encroach into the adopted wildlife corridor (Policy EN2).

Substantial trees will be removed along the northern boundary encroaching onto the historic sunken road of Beacon Lane.

The site is highly visible from the A59 in Burscough to Parbold and everything possible needs to be done to minimise the impact of the site and three storey houses are not appropriate.

Construction traffic will disrupt the local roads.

Increase in anti-social behaviour.

The site and protected field are within an Area of Landscape History and should be protected.

Not convinced all the conditions on the outline permission will be complied with.

Detrimental impact on the highway surfaces in the area, which aren't maintained and will suffer more traffic.

Landscape will be blighted especially when viewed from Dalton Church.

Lack of public transport.

Building housing here will merge Skelmersdale with Dalton and fails to protect boundaries.

No recent traffic survey has been undertaken of the traffic impacts on the lanes of Dalton.

Beacon Lane should be closed or made one way to avoid increased traffic and being used as a rat run.

Loss of privacy.

Increased noise intrusion.

Increased pollution.

Loss of view towards Beacon.

Potential mining subsidence to future occupiers and surrounding properties.

Not enough jobs in the area for occupiers.

The Dome has already flooded and this development could make the situation worse.

Hedges will be destroyed.

- 3.4 I have also received a 30 signature petition from residents of Kestrel Mews objecting to the development on grounds of increased flooding, loss of wildlife and agricultural field, inadequate consideration of coal mining issues, increased traffic, increased noise and pollution, two storey houses too high, increase in number of dwellings from 177 in outline permission to 202, loss of privacy, impact on local service (NHS, police, schools), poor public transport, lack of jobs in the area, shouldn't be a link through to protected land.

4.0 SUPPORTING INFORMATION

- 4.1 The application is supported by the following information:
- Flood Risk Assessment
 - Planning Policy Compliance Statement
 - Crime Impact Statement
 - Arboricultural Impact Assessment and Method Statement
 - Highway Technical Note
 - Ecological Assessment
 - Landscape and Visual Impact Assessment
 - Design and Access Statement
 - Geo-technical Ground Investigation Report

5.0 RELEVANT PLANNING POLICIES

- 5.1 The National Planning Policy Framework (NPPF) (including Technical Guidance to the NPPF) and the West Lancashire Local Plan (2012-2027) DPD provide the policy framework against which the development will be assessed. The site is located within the Regional Town of Skelmersdale in the West Lancashire Local Plan and is also an allocated housing site.
- 5.2 The following relevant policies apply:

National Planning Policy Framework (NPPF)

Section 1 Building a strong, competitive economy
Section 4 Promoting sustainable transport
Section 6 Delivering a wide choice of high quality homes
Section 7 Requiring good design
Section 10 Meeting the challenge of climate change, flooding and coastal change
Section 11 Conserving and enhancing the natural environment
Section 12 Conserving and enhancing the historic environment

West Lancashire Local Plan (2012-2027) DPD

SP1 – A Sustainable Development Framework for West Lancashire
GN1 – Settlement Boundaries
GN3 – Criteria for Sustainable Development
RS1 – Residential Development
RS2 – Affordable and Specialist Housing
IF2 – Enhancing Sustainable Transport Choice
IF3 – Service Accessibility and Infrastructure for Growth
IF4 – Developer Contributions
EN1 – Low Carbon Development and Energy Infrastructure
EN2 – Preserving and Enhancing West Lancashire’s Natural Environment
EN3 – Provision of Green Infrastructure and Open Recreation Space

5.3 Additionally the following supplementary planning documents are relevant:

Key Principles for Residential Development at Whalleys, Skelmersdale (Sep 2012)

SPG – Whalleys Housing Site, Skelmersdale Plus Mixed Development (updated July 2007)

SPD – Design Guide (Jan 2008)

SPD - Open Space/Recreational Provision in New Residential Developments (April 2009).

6.0 OBSERVATIONS OF DIRECTOR OF DEVELOPMENT AND REGENERATION

The Site

6.1 The application site relates to a parcel of undeveloped greenfield land in north Skelmersdale, adjacent to Ashurst and approximately 2km north of the town centre. The site forms one of four parcels of land located in Whalleys and within the Skelmersdale settlement boundary that are allocated for residential development. The site is approximately 6 hectares and slopes steeply from the south-east to the north-west. It is bound to the north by Beacon Lane with Green Belt and agricultural land beyond and to the west (fronted by a mature tree belt) is Whalleys Road with existing residential development beyond. To the south of the site is St James’s Primary School and properties on Kestrel Mews. To the east lies arable farmland forming Protected Land (Policy GN1 of the Local Plan). This site is currently in arable crop production. Along the northern boundary are a number of mature TPO oak trees and along the western boundary there is a mature tree belt, also with a TPO.

Background

6.2 Outline planning permission, with all matters reserved, was granted for residential development on the site, along with 3 other parcels of land at Whalleys. The outline planning permission 2013/1060/WL3 was granted for up to 630 dwellings across the 4 sites, together with open space and landscaping on 28th August 2014. The outline permission includes 30 conditions and a S106 Agreement that secures the provision of 30% affordable housing and 20% specialist housing for the elderly across all the sites, public open space, transport contributions and biodiversity mitigation and enhancement. No conditions have yet been discharged; however, this Reserved Matters application seeks to include details of some conditions (namely Condition 3 – access, layout, scale, external appearance and landscaping; Condition 5 – levels, Condition 7 – bats, Condition 8 – landscaping, Condition 11 – surface water drainage, Condition 13 – coal investigation, Condition 23 – highways assessment, Condition 30 – gas governor).

The Proposal

- 6.3 This is a reserved matters application for the erection of 202 dwellings. The application includes details of site layout, scale, appearance and landscaping. The site access is off Whalleys Road, the principle of which has previously been approved under the Outline permission for the site. The proposed dwellings will comprise of:

11 x 4 bed dwellings
135 x 3 bed dwellings
55 x 2 bed dwellings

Of these, 60 units (24 x 2 bed and 36 x 3 beds) would be provided as affordable housing. These would be all shared ownership tenures (rather than the 80% social rent/20% shared ownership required under the S106 Agreement) due to current difficulties in obtaining grant funding for social rented accommodation. The required level of specialist housing suitable for the elderly is also provided in the form of bungalow accommodation and properties built to lifetime homes standard. These properties are pepper-potted throughout the development. The heights of the properties vary, with 10 bungalows included along with 2 and 2 and half storey dwellings.

- 6.4 A 20m wide landscaped buffer zone is proposed along the eastern boundary, on land outside of the application site but within land in the same ownership. An attenuation basin is proposed within the south-west corner of the site and an overland flow catchment ditch is proposed within the eastern landscaped buffer. A 3m joint pedestrian/cyclepath is proposed along the northern edge of the site, inside the existing row of TPO trees alongside Beacon Lane. This path continues alongside Whalleys Road, linking in with an existing footpath to St James' School.
- 6.5 Access is intended from Whalleys Road via a curved roadway through the existing tree belt, this is proposed in order to address site level differences. Parking is provided for each property on a 2:1 basis with some additional visitor spaces incorporated within the layout, resulting in a total of 424 spaces across the site.

Principle of Development

- 6.6 The principle of a residential development on the site has already been established through the approval of outline permission under planning reference 2013/1060/WL3. There have been no significant policy changes in the interim which may have affected this decision, therefore I am satisfied that the principle of development remains compliant with the aims and objectives of the NPPF and Policy RS1 of the Local Plan.

Siting, Layout and Design

- 6.7 Policy GN3 in the Local Plan together with the Council's SPD Design Guide states that new development should be of a scale, mass and built form which responds to the characteristic of the site and its surroundings. New development is required to be of a high quality design and have regard to visual amenity and complement its surroundings through sensitive design, including appropriate siting, orientation and scale.
- 6.8 The proposed layout offers a legible scheme with clear routes for vehicle and pedestrian movement throughout. A mixture of property styles is proposed, varying from bungalows to two-storey with dormers in the roof space. Whilst the number of dwellings is more than that illustrated in the outline planning application documentation, this was illustrative only and the density of development at 35 dwellings per hectare is reasonable for the site given its location within the settlement boundary of the Borough's regional town. The increase in number of dwellings on this site is not contrary to the outline permission, since this only specifies an overall limit across all 4 sites of up to 630 dwellings.
- 6.9 The layout includes the provision of a 20m landscaped buffer strip along the eastern edge, providing a separation from the agricultural land whilst also ensuring the development is screened from outwith the site. There is also the provision of a 15m buffer strip to Beacon Lane to the north. Existing TPO trees will be retained along this boundary and a 3m wide cycle/pedestrian path will be incorporated along the boundary. The majority of the dense tree belt to the west of the site along Whalleys Road will be retained, although a strip will be removed to accommodate the 3m wide cycle path and the access into the site.
- 6.10 The design of properties is generally standard and incorporates traditional red brick and black or brown roof tiles. Some house-types include rendered elevations which introduces some variation. There are 10 bungalows on the site and 20 taller properties with rooms in the roofspace. These have been referred to by objectors as three storey and whilst they have three floors, they are two storey to the eaves with tall roofs incorporating dormers, with an overall height of 9m. Whilst I acknowledge concerns about the height of these dwellings, particularly along Beacon Lane, there are only three of this house-type located along this 6 dwelling frontage, which allows for space between the dwellings. In addition, all six dwellings fronting Beacon Lane would sit back from the highway boundary, behind protected trees, reducing their visual impact from the surrounding countryside. The number of 2 and a half storey dwellings within the scheme is limited and on balance I consider they can be acceptably accommodated within the mix of dwelling types without significant detriment to the visual amenity of the area.
- 6.11 Elsewhere in the site, I am satisfied that the proposed dwellings relate well to one another and whilst there is general uniformity in terms of layout, there is also a

welcome irregularity to the siting of dwellings with bungalows spread across the site and a varying mix of heights.

- 6.12 Each dwelling benefits from a private amenity area. These generally meet and exceed the recommended garden lengths specified in the Council's SPD. The layout also incorporates some side parking to break up the built form of the development.
- 6.13 Although residents have expressed concerns that a more spacious layout has not been proposed on this prominent sloping site adjacent to the Green Belt and close to the rural village of Dalton, on balance I am satisfied that design, layout and scale maximises the use of the land and complies with relevant local plan policies and the Council's Design Guide and would not significantly adversely affect the character and appearance of the local area.

Impact on Residential Amenity

- 6.14 Policy GN3 in the WLLP requires new development to retain or create reasonable levels of privacy, amenity and sufficient garden/outdoor spaces for occupiers of the proposed and neighbouring properties. Further detailed advice on interface distances is provided within the Council's SPD Design Guide. The Design Guide states that there should be a minimum distance of 21m between dwellings with principal windows in each elevation and a distance of 12m between main elevations and those that do not contain primary windows of habitable rooms.
- 6.15 In terms of the relationships between the proposed dwellings, I am generally satisfied that the proposed layout accommodates the required interface distances. Where this is not the case, I am satisfied that the resulting impact has been designed out by ensuring that the main outlook is focused away from the neighbouring property.
- 6.16 The proposed development site is located adjacent to properties to the south on Kestrel Mews. I am satisfied that the relationships which would be formed between the new properties and the existing properties on Kestrel Mews are acceptable, as the requisite interface distances is achieved.
- 6.17 On balance therefore I am satisfied that the proposed development would satisfy the requirements of Policy GN3 in respect of neighbouring amenity.

Highways and Parking

- 6.18 The site access off Whalleys Road has already been approved in principle under the outline planning permission as an access to this site was identified on the illustrative layout. The original access point utilising an existing gap in the tree belt has proven too steep for vehicular access and as such, the access is now closer to St James' school. Swept path analysis indicates the curvature of the access road can accommodate twin axel refuse vehicles and the required

visibility splays can be accommodated. As part of the outline permission, a toucan crossing point is to be provided south of the access and the footway along the western side of Whalleys Road extended to meet the toucan crossing point. A 3m wide joint cycle/footpath is also to be provided along the eastern side of Whalleys Road to meet with an existing footpath leading to St James' school.

- 6.19 The accompanying legal agreement requires the applicant to provide a financial contribution of £120,000 for the diversion of a bus route to serve the development payable prior to the occupation of the 100th dwelling.
- 6.20 In terms of parking provision, a mixture of frontage and side parking is proposed. I am satisfied that each dwelling has been afforded an appropriate parking provision.
- 6.21 In terms of manoeuvring, the proposed site layout has been considered by the Highway Authority who is satisfied that the layout is acceptable. On this basis I am satisfied that vehicles can manoeuvre safely within the site and access and egress would not cause adverse harm to highway safety or the free flow of traffic in the local area. On this basis I am satisfied that the proposed is compliant with Policy GN3 and IF2 in the Local Plan.

Trees and Biodiversity

- 6.22 A detailed landscaping scheme has been submitted which includes a 20m native landscape strip along the eastern boundary which will increase biodiversity and assimilate the development into its semi-rural surroundings. In addition, the majority of TPO trees along the northern Beacon Lane boundary will be retained (a small number will be removed to accommodate a 3m side cycle/footpath). The existing tree belt fronting Whalleys Road will also be retained, save for the proposed access cutting into the woodland. The existing hedge forming the boundary with properties along Kestrel Mews will also be retained and additional tree planting will be incorporated within the development, as will native hedgerows to the frontage of plots.
- 6.23 I am satisfied that suitable compensatory planting has been provided to mitigate for the loss of existing trees. Whilst some details of habitat management have been provided by the applicant, further maintenance details are still required in order to satisfy conditions on the outline planning permission.
- 6.24 The applicant has submitted an ecological survey report which states that no evidence of bat roosts was recorded within the site and therefore the Council does not need to consider the proposals against the three tests contained within the Habitats Regulations. It is recommended that all ground works are completed prior to March 2017 in order to avoid the need for further surveys. The conclusions and mitigation proposed regarding protected species, namely bats, is accepted by the Council's ecological advisors and habitat proposals are in accordance with the requirements of the outline planning conditions. A condition

is recommended on any approval to require pre-commencement checks for badgers. The report acknowledges that ground nesting Skylark will be permanently displaced by the development; however, it is concluded that this is unlikely to harm the local ground nesting bird population due to the large extent of alternative habitat within the area. As such, the Council's ecology advisors consider mitigation for the loss of ground nesting bird habitat is not required. Overall the ecological strategy is considered to be acceptable and its implementation would be secured by a planning condition.

- 6.25 Subject to the imposition of conditions, I am satisfied that the proposed development is compliant with Policy EN2 of the Local Plan.

Drainage

- 6.26 It is a requirement of Policy GN3 that new development does not result in unacceptable flood risk or drainage problems. The applicant has confirmed that foul water from the development would discharge to the public sewer system. Although this connection would require approval from United Utilities, I am satisfied that the principle is acceptable. However, in terms of surface water, there is a significant concern in the local area that instances of flooding already exist and that the proposed development will make this worse.
- 6.27 In order to address this matter a Flood Risk Assessment and detailed surface water drainage scheme has been submitted. The original drainage proposal for the site has been amended in order to satisfy the requirements of the Lead Local Flood Authority (LLFA) in accordance with the NPPF.
- 6.28 The applicant proposes that surface water from the field to the east would be directed to a catchwater ditch running along the eastern boundary within the landscaped buffer. Originally, it was proposed to carry the water through a culverted water pipe down the southern boundary of the site within rear gardens of the proposed dwellings. This was unacceptable to the LLFA as it would have resulted in maintenance issues with a potential for flood risk. As such, the surface water drainage scheme has been amended to take the water from the catchwater ditch along the northern and western boundaries of the site within areas of open space and landscape buffer, therefore avoiding future maintenance issues. The culverted watercourse will then discharge, at an attenuated rate, to an existing ditch in the south-west corner of the site, which then leads under Whalleys Road and discharges downstream to the River Tawd. In addition, to deal with surface water from the site, one large and one small attenuation basin is proposed in the south-west corner of the site. Here, surface water would be held and released into the existing ditch at an attenuated rate of 4l/sec.
- 6.29 Paragraph 103 of the NPPF requires priority use to be given to SUDS in respect of new developments and that means that the preferred means of surface water drainage for any new development is via infiltration. The second preferred means is via a watercourse. In this case the applicant has suitably discounted infiltration

due to ground conditions within the site and therefore I am satisfied with the principle of the method of surface water drainage now proposed which ensures that the proposed development can be adequately drained and that there is no flood risk on or off the site. The drainage infrastructure is required to be implemented before any development takes place and this can be secured by condition. In addition to this, I recommend that driveways are constructed in porous material rather than tarmac as proposed and this can be dealt with by condition.

Planning Obligations

- 6.30 The Outline permission granted for the redevelopment of this site is the subject of a legal agreement requiring the developer to provide 30% of the units as affordable housing, 20% as specialist housing for the elderly, an area of on-site public open space on Cobbs Clough/Site 2, an off-site public open space contribution and a financial contribution towards highway improvements which include the provision of bus stop, provision of an off road cycle lane from Cobbs Brow Lane to Summer Street and provision of funding for the diversion/creation of a bus route and ecology mitigation and enhancement. These obligations reflect the relevant policy requirements at the time outline permission was granted and remain part of the proposed development which must be delivered in line with the terms of the agreement. A deed to vary this agreement is proposed and the variation relates to securing the terms of the affordable housing, which remains at 30% but is all shared ownership tenure.

Summary

- 6.31 The Outline permission granted for the redevelopment of this site is the subject of a S106 Agreement requiring the provision of 30% of the units as affordable housing, 20% as specialist housing for the elderly, an area of on-site public open space on Cobbs Clough/Site 2, an off-site public open space contribution and a financial contribution towards highway improvements which include the provision of bus stop, provision of an off road cycle lane from Cobbs Brow Lane to Summer Street and provision of funding for the diversion/creation of a bus route and ecology mitigation and enhancement. These obligations reflect the relevant policy requirements at the time outline permission was granted and remain part of the proposed development which must be delivered in line with the terms of the S106 Agreement. The developer has requested some changes to the terms of the S106 Agreement in relation to the tenure of the affordable housing and the public open space. Agreed changes will need to be set out in a deed of variation.

7.0 RECOMMENDATION

- 7.1 That the decision to grant planning permission be delegated to the Director of Planning and Regeneration in consultation with the Chairman or Vice Chairman of the Planning Committee subject to a Deed of Variation (planning obligation)

under S106 of the Town and Country Planning Act 1990 being entered into as set out in paragraph 6.31 of the report.

- 7.2 That any planning permission granted by the Director of Development and Regeneration pursuant to recommendation 7.1 above be subject to the following conditions:

Conditions

1. The development hereby approved shall be carried out in accordance with details shown on the following plans:-
 - Plan Ref: 01074A_S_03 Rev K Planning Layout received by the Local Planning Authority on 23rd November 2016;
 - Plan Ref: ENG001 Drainage Layout received by the Local Planning Authority on 17th October 2016;
 - Plan Ref: 5236.07 Rev C Landscape Proposal - full site received by the Local Planning Authority on 15th July 2016;
 - Plan Ref: 5236.03 Rev C Landscape Proposal - received by the Local Planning Authority on 18th July 2016;
 - Plan Ref: 5236.04 Rev C Landscape Proposal - received by the Local Planning Authority on 18th July 2016;
 - Plan Ref: 5236.05 Rev C Landscape Proposal - received by the Local Planning Authority on 15th July 2016;
 - Plan Ref: 5236.06 Rev C Landscape Proposal - received by the Local Planning Authority on 18th July 2016;
 - Plan Ref: 5236.01 Tree Survey and Root Protection Area received by the Local Planning Authority on 15th July 2016;
 - Plan Ref: 5236.02 Rev B Tree Protection Plan received by the Local Planning Authority on 4th October 2016;
 - Plan Ref: 4012-KHNW-110 Materials and boundary received by the Local Planning Authority on 20th July 2016;
 - Plan Ref: ENG008-04 Rev P3 Engineering Works Layout received by the Local Planning Authority on 3rd November 2016;
 - Plan Ref: ENG008-03 Rev P2 Engineering Works Layout received by the Local Planning Authority on 3rd November 2016;
 - Plan Ref: ENG008-02 Rev P3 Engineering Works Layout received by the Local Planning Authority on 3rd November 2016;
 - Plan Ref: ENG008-01 Rev P3 Engineering Works Layout received by the Local Planning Authority on 3rd November 2016;
 - Plan Ref: 880941 Drw 10-01 Rev P4 Engineering Appraisal received by the Local Planning Authority on 15th July 2016;
 - Plan Ref: 01074A_D_01 Gas Governor Elevations received by the Local Planning Authority on 10th November 2016;
 - House Type Plans, Elevations and Perspectives 621, 622, 651, 740, 832, 842, 851, 857, 867, 955, 1054, 1062, 1118, 1178, 1216, 1224 received by the Local Planning Authority on 15th July 2016
2. Details of the mitigation measures outlined in sections 4.3.5 and 4.3.10 of the Ecological Assessment by Avian Ecology received by the Local Planning

Authority on 15th July 2016 shall be submitted to and approved in writing by the Local Planning Authority. Once approved, the agreed mitigation shall be implemented and retained for the duration of the development.

3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) or any subsequent Orders or statutory provision re-enacting the provisions of these Orders no garages, extensions, alterations, porches, garden sheds, out buildings, greenhouses, swimming pools, hardstandings or means of enclosure shall be erected or undertaken without the express written permission of the Local Planning Authority.
4. Immediately prior to commencement a joint survey shall be carried out between the developer and the Highway Authority to determine the condition of Whalleys Road. A similar survey shall be carried out within six months and the final inspection within one month of the completion of the last house, and the developer shall make good any damage to Whalleys Road to return it to the pre-construction situation.
5. Prior to the first occupation of any dwelling, that dwelling shall be provided with an electric vehicle charging point which shall be retained for that purpose thereafter.
6. If works to the trees are not completed by the beginning of May 2017, an updated bat survey shall be submitted to and approved in writing by the Local Planning Authority to determine the presence or absence of the species and any mitigation required to maintain the population at favourable status. Any mitigation measures shall be provided on site in accordance with a timetable to be agreed in writing with the Local Planning Authority and thereafter be so retained.
7. Notwithstanding the plans hereby approved, all driveways shall be constructed using a porous material, the details of which first be submitted to and approved in writing by the Local Planning Authority.

Reasons

1. For the avoidance of doubt and to ensure compliance with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
2. To safeguard a protected species and so ensure that the development complies with the provisions of Policy EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
3. The character, location and size of garden area of the properties are such that the Local Planning Authority wish to exercise maximum control over future development in order to comply with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
4. To maintain the construction of Whalleys Road in the interest of highway safety and in accordance with the provisions of Policy GN3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
5. In order to enhance sustainable transport choice and to accord with the provisions of Policy IF2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.

6. To safeguard a protected species and so ensure that the development complies with the provisions of Policy EN2 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.
7. To ensure that the site is properly drained in the interest of local amenity and that the development, therefore, complies with the provisions of Policies GN3 & IF3 in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document.

Notes

1. Your attention is drawn to the fact that the Conditions that were imposed on the Outline planning permission for this development still apply and must be complied with in the implementation of this approval.
2. The grant of planning permission will require the applicant to enter into an appropriate Legal Agreement, with the County Council as Highway Authority. The Highway Authority hereby reserves the right to provide the highway works within the highway associated with this proposal. Provision of the highway works includes design, procurement of the work by contract and supervision of the works. The applicant should be advised to contact the Community Services for further information by emailing the County Council's Highways Development Control Section on lhscustomerservice@lancashire.gov.uk or by writing to the Highways Development Control Manager, Winckley House, Cross Street, Preston PR1 3LT, quoting the planning application number in either case.

Reason for Approval

1. The Local Planning Authority has considered the proposed development in the context of the Development Plan including, in particular, the following Policy/Policies in the adopted West Lancashire Local Plan 2012-2027 Development Plan Document:

GN1 Settlement Boundaries
GN3 Criteria for Sustainable Development
RS1 Residential Development
IF2 Enhancing Sustainable Transport Choice

together with Supplementary Planning Guidance and all relevant material considerations. The Local Planning Authority considers that the proposal complies with the relevant Policy criteria and is acceptable in the context of all relevant material considerations as set out in the Officer's Report. This report can be viewed or a copy provided on request to the Local Planning Authority.



PLANNING COMMITTEE

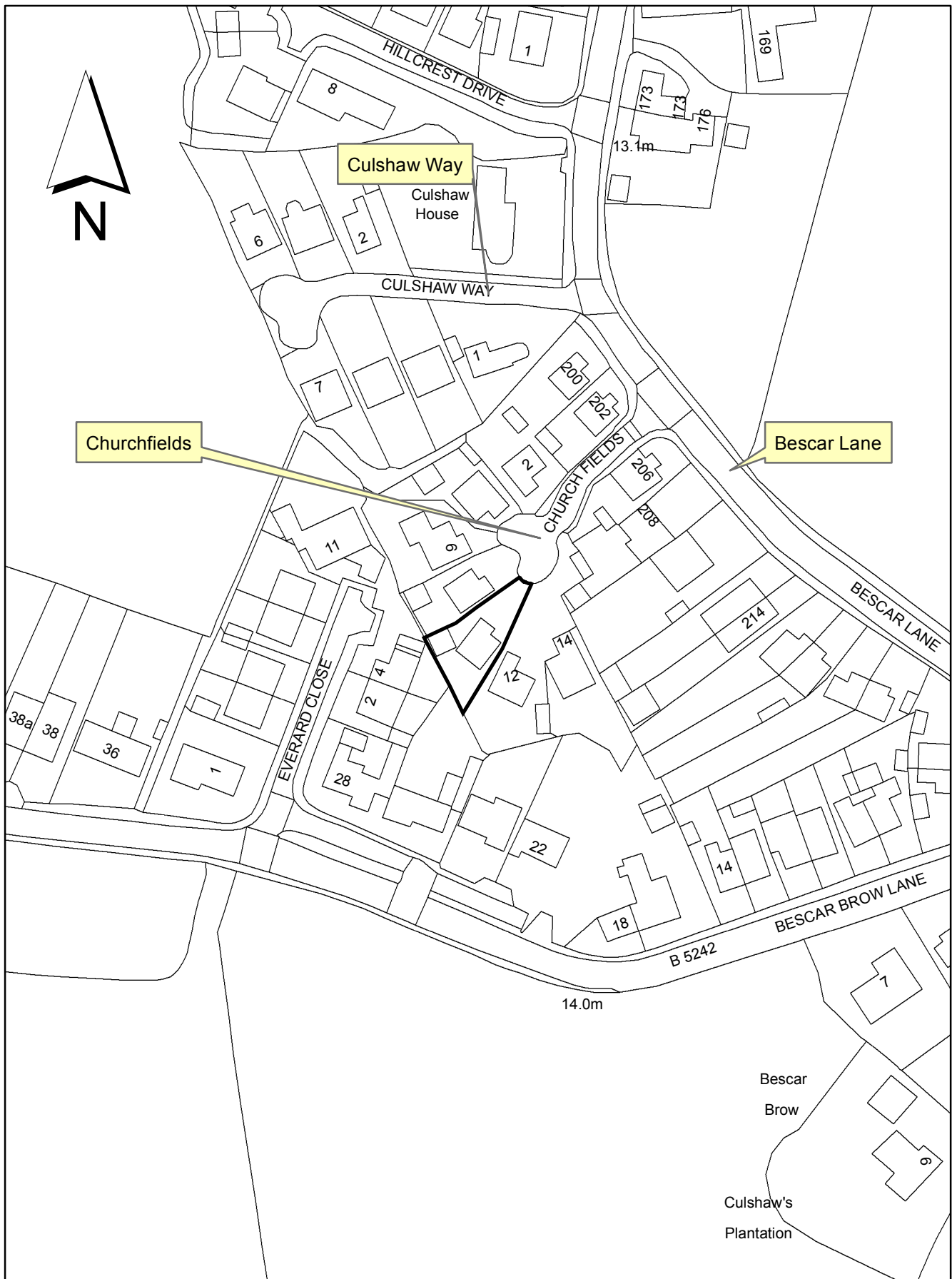
8th December 2016

(Agenda Item 7)

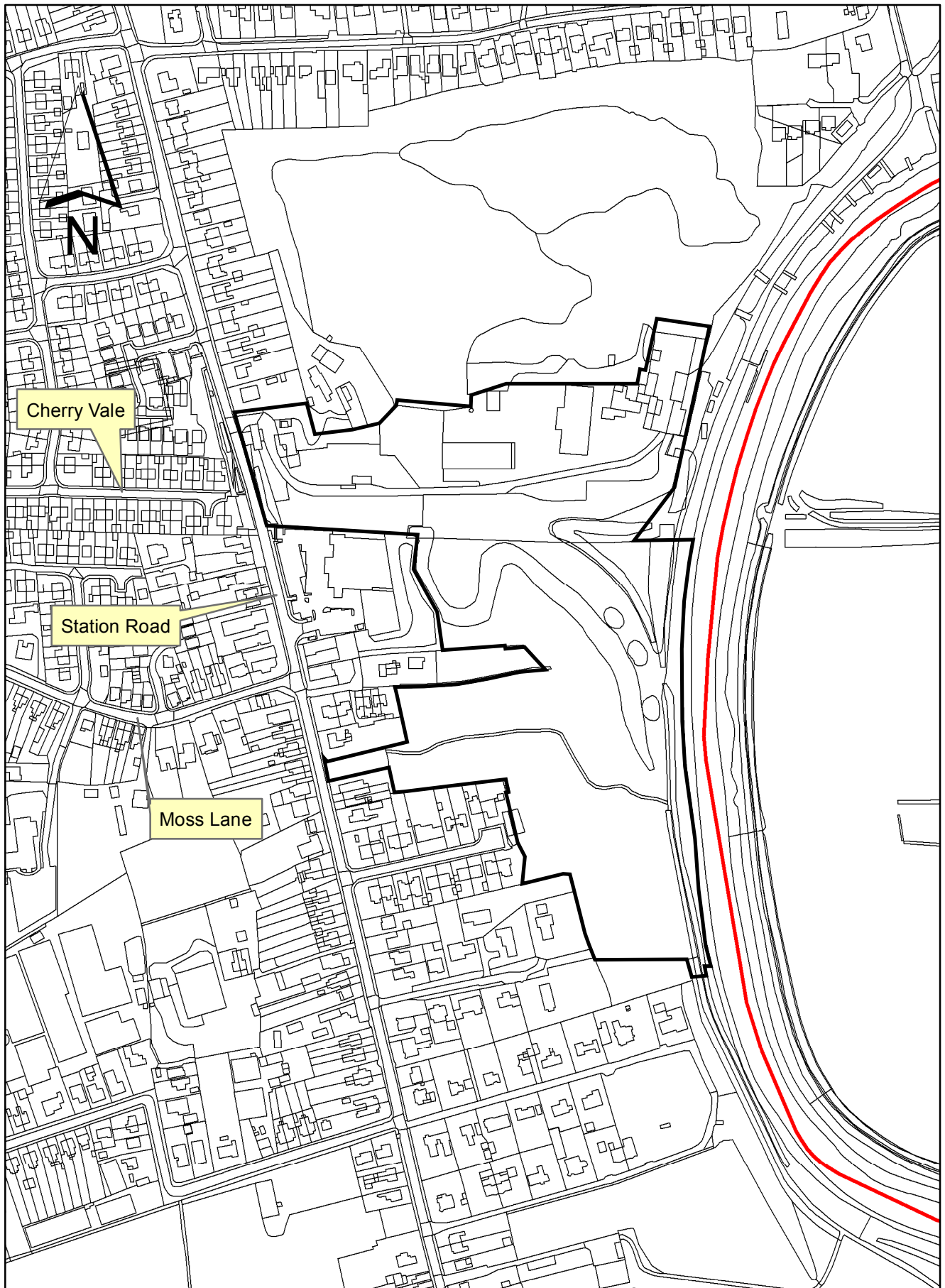
PLANNING APPLICATION ITEMS

LOCATION PLANS

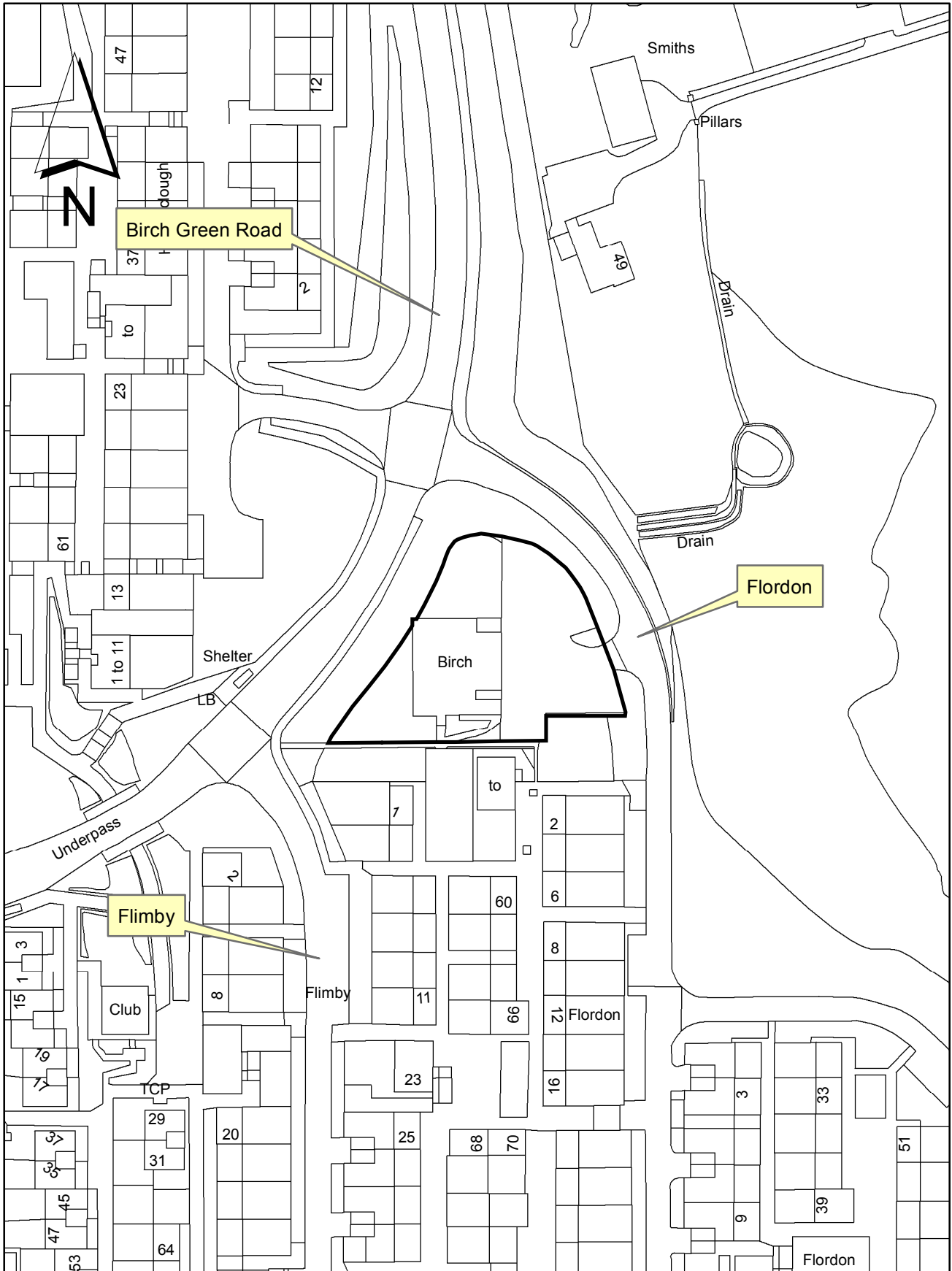
10 Churchfields, Scarisbrick L40 9SE



Henry Alty Ltd, Station Road, Hesketh Bank, Preston PR4 6SP



Former Silver Birch Hotel, Flordon, Birch Green, Skelmersdale
WN8 6PB



Land to the East of Whalleys Road, Skelmersdale WN8 6PR





AGENDA ITEM:

**PLANNING COMMITTEE:
8 December 2016**

CABINET: 10 January 2017

Report of: Director of Development and Regeneration

Relevant Portfolio Holder: Councillor J. Hodson

Contact for further information: Ian Bond (Extn. 5167)
(e-mail: ian.bond@westlancs.gov.uk)

SUBJECT: GRANVILLE PARK CONSERVATION AREA CHARACTER APPRAISAL UPDATE

Wards affected: Aughton and Downholland Ward

1.0 PURPOSE OF THE REPORT

- 1.1 To consider the draft Conservation Area Appraisal for Granville Park and report back to members the results of the public consultation on the updated document. To consider the representations received and seek support for the proposals identified in the Character Appraisal.

2.0 RECOMMENDATIONS TO PLANNING COMMITTEE

- 2.1 That support is given to the Character Appraisal update for Granville Park Conservation Area, including the associated Design Guide and the recommendations within the update for the extension of the Conservation Area boundary and making of a new Article 4 Direction as identified in Appendices A, B, C and D appended to this report.

3.0 RECOMMENDATIONS TO CABINET

- 3.1 That the Character Appraisal update for Granville Park Conservation Area and the Design Guide appended to this report (Appendix A and B) including the provisions to extend the Conservation Area boundary (as set out in Appendix C) and make a new Article 4 Direction (Appendix C and D) be approved subject to consideration of any agreed comments from Planning Committee.

- 3.2 That Cabinet delegate authority to the Director of Development and Regeneration in consultation with the Portfolio Holder for Planning to make the necessary arrangements to inform residents and to publish the appraisal documents including the management proposals.
 - 3.3 That Cabinet delegate authority to the Director of Development and Regeneration in consultation with the Portfolio Holder for Planning to make the arrangements to amend the Conservation Area boundary and make the Article 4 Direction , to inform residents of the changes, carry out the relevant consultations and report back to a future Cabinet to confirm the Article 4 Direction.
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4.0 BACKGROUND

- 4.1 The review and update of the character appraisal for the Granville Park Conservation Area is part of a rolling programme of appraisals of all the Conservation Areas in West Lancashire. The Borough Council has an obligation under Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990 to review, from time to time, its Conservation Area designations, and under Section 71 of this Act to formulate and publish proposals for the preservation and enhancement of these areas.

5.0 THE PURPOSE OF CONSERVATION AREA APPRAISALS AND THE REVIEW

- 5.1 The Planning (Listed Building and Conservation Areas) Act 1990 imposes a duty on local planning authorities to designate as Conservation Areas any “areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance”. Conservation area appraisals aim to identify and re-affirm the special architectural or historic interest of conservation areas, clarify any issues relating to boundaries and identify ways to strengthen their commitment to manage the historic environment.
- 5.2 Historic England Advice Note 1 (Conservation Area Designation, Appraisal and Management, 2016), states that the outcome of a conservation area review might typically be an addendum to the existing appraisal, recording what has changed, confirming (or redefining) the special interest that warrants designation, setting out any new recommendations and revising the area’s management strategy.
- 5.3 It is generally accepted that Conservation areas, which are largely composed of unlisted dwellings, are particularly vulnerable to change through work carried out under normal residential ‘permitted development rights’ e.g. altering windows, doors or roofs, removing chimneys, erecting porches, creating new areas of hardstanding, erecting or demolishing walls and painting the exterior of a building. Whilst this in most cases will be well meaning renovation or home

improvement, the incremental and cumulative nature of changes can harm an area's character and appearance.

- 5.4 The last full appraisal of Granville Park Conservation Area was in 1997. Since that time the area has undergone a degree of change and has, like other areas in the Borough, been subject to increased development pressure, fuelled largely by the attractive nature of the properties and environment. Whilst the conservation area has an existing Article 4(2) Direction applied to it, the planning measure only covers parts of the area. Its success in controlling minor changes to properties has therefore been limited. Part of the Appraisal process requires consideration of changes that have occurred over the years since the previous Appraisal which may compel the revision of this additional control.

6.0 THE REVIEW PROCEDURE

- 6.1 As part of this Appraisal update an objective study was conducted assessing the contribution (both architecturally and historically) of individual properties in the Conservation Area. This work included a photographic survey and objective assessment of properties against a list of criteria. The results of the exercise identify the '*contribution*' made by buildings measured against the key characteristics of the Conservation Area (buildings can either have a positive, neutral or negative contribution). This information is illustrated in plan form and is included in the draft character appraisal for the Conservation Area.
- 6.2 As part of the preparation for the review, all residents within the Conservation Area were invited to a workshop which took place on 12 April 2016 at the Council Offices in Ormskirk. Twelve local residents attended with a further three supplying comments after the event. The workshop presented an opportunity for residents to discuss conservation related issues and what contributes towards the special character of the Conservation Area. The comments made at the Workshop have fed into the Appraisal update.
- 6.3 The results of the study and building assessments, described above, were presented at the workshop with local residents. This also offered an opportunity for early consultation and from the event emerged a number of issues and suggestions which we sought to address and include in the draft appraisal update. These are outlined in paragraphs 6.4 – 6.8 below.
- 6.4 The potential for extending the boundary of the Conservation Area was raised during the workshop. Background survey work for the appraisal had identified one potential area for extension – the Cockbeck Tavern which lies just beyond the southern boundary of the area at the junction with Town Green Lane. The former pub building was highlighted as playing a significant role in the setting of the Conservation Area, displaying some of the same key characteristics (see Section 5 of the draft appraisal) as the properties within the existing Conservation Area. Visually it is an important focal point and clearly frames one of the main entrances to the Conservation Area from Town Green Lane.

- 6.5 The resident workshop group agreed that there has been growing pressure for modernisation of properties in Granville Park in recent years. It was highlighted that there are several properties (particularly Phase 2 properties which date from around 1901-1945) which currently fall outside the controls provided by the existing Article 4 Direction and as such are under increasing pressure from 'home improvements'. Given that many of these properties still have original features i.e. stained and leaded glass windows it was agreed that the continuing lack of control would have a negative impact upon the character of individual properties and the character and appearance of the wider Conservation Area.
- 6.6 Given this and the changes that have occurred over the last 20 years, the Council feels that making an Article 4 Direction across the whole of the Granville Park Conservation Area would be an appropriate measure in order to prevent further insensitive alterations to properties, which make a positive contribution to the area's character, and prevent further threats to the key characteristics highlighted in the Appraisal. This proposal is illustrated in Appendix C.
- 6.7 Over the last decade we have seen a rise in the provision of domestic micro energy generation and in particular the use of solar panels. Since the previous appraisal, the Town and Country Planning (General Permitted Development) Order (GPDO) has changed, allowing for the installation of solar photo voltaic (PV) or solar thermal equipment in certain locations on buildings without the need for Planning Permission. At present there is no planning control over the installation of these solar generating systems on the roofs of properties (subject to certain conditions) within a Conservation Area. Some solar PV/thermal panels have already been installed in Granville Park in recent years. Their installation on the roofs of properties, particularly on those elevations facing on to the road, can obscure, to some extent, the original roof covering and result in harm being caused to the character and appearance of the Conservation Area. The recommendation supported by a number of those present at the resident's workshop, is to extend the development covered in the schedule of a new Article 4 Direction to include Part 14, Class A (the installation, alteration or replacement of micro-generation solar PV or solar thermal equipment on domestic properties) so that this form of development will require Planning Permission. Details of the kinds of development covered by the schedule of the proposed Article 4 Direction can be found in Appendix D.
- 6.8 Finally, we have sought to produce specific design guidance for those seeking to carry out development in Granville Park (including residents and developers). Residents who attended the workshop supported this idea and felt that it would be helpful in guiding home owners to make informed choices before committing to development proposals. For this reason the 'Granville Park Conservation Area Design Guide' was produced as part of the appraisal (attached to this Report as Appendix B).

7.0 PUBLIC CONSULTATION - RESPONSES

- 7.1 The draft appraisal document (attached to this report as Appendix A) has been prepared using, for base information, the previous 1997 Character Appraisal for

the area and the building assessments outlined in 6.1. A letter was sent to all property addresses in the Conservation Area and to Aughton Parish Council. Copies of the Draft Character Appraisal were made available on the Council's website and hard copies placed in Ormskirk Library, the Council Offices and were available on request. The closing date for comments was 4 November 2016.

- 7.2 A public exhibition was held in Aughton Village Hall on 27 October 2016 between 2pm and 7pm. Residents were informed of the exhibition and the event was publicised in the Local Press. The exhibition gave local people the opportunity to view display boards outlining the issues within the Conservation Area together with the recommendations for change and also provided an opportunity for discussion with Conservation staff from the Planning department. The exhibition was attended by around 40 people. Those with views on the content of the Appraisal document including the Design Guide and the specific proposals to alter the conservation boundary and provide a new Article 4 Direction were encouraged to submit comments during the consultation period.
- 7.3 In total of 8 comments were received on the draft documents (see attached Appendix E for further details including our responses to the comments made).
- 7.4 All responses were supportive of the extension of the Conservation Area to include the Cockbeck Tavern. Many also expressed their support for the new Article 4 Direction as recommended, including the additional control over Solar PV and Solar thermal panels. A number of respondents suggested some minor amendments to either clarify or add some further detail to the written content of the documents. Some of these have been accepted and changes made to the appropriate document (see Appendix E for details). In some cases issues not related to planning were raised and this is explained within the response.
- 7.5 Six residents have stated that they believe that the bowling green to the rear of the Cockbeck Tavern should also be included within the Conservation Area extension. Five of these people also felt that the shops on Town Green Lane should be included within the revised boundary. When considering boundary changes the Council is advised to take a cautious approach to ensure that the special architectural or historic interest is not devalued through the designation of areas that lack the special interest. I note that the bowling green, adjacent shops, cottages and train station along Town Green Lane all have a distinctive and different character. They are not felt to share enough of the key characteristics of the existing Granville Park Conservation Area outlined in the Appraisal document to justify their inclusion.

8.0 PROPOSED ACTIONS

- 8.1 Taking into account the comments received through the consultation we propose to take forward the recommendations identified in the draft appraisal. These are set out below.
- 8.2 Amending the boundary of Granville Park Conservation Area to include The Cockbeck Tavern, including its associated car park to the rear, on Town Green

Lane. The inclusion of the former public house will help preserve the appearance of the southern entrance into Granville Park.

- 8.3 The provision of a new Article 4 Direction which covers extensions and alterations to dwelling houses, alterations to roofs, porches, ancillary buildings or enclosures within the curtilage, the provision of hard surfaces, satellite antenna, the removal of chimneys, the erection and alteration of boundary walls and fences, and the painting of houses. The Article 4 Direction will also include Part 14, Class A (the installation, alteration or replacement of micro-generation solar PV or solar thermal equipment on domestic properties) so that this form of development will require Planning Permission. It is important to stress that the Article 4 Direction only covers elevations of a dwellinghouse which front onto a highway, waterway or public open space. The proposed schedule for the new Article 4 Direction is set out in Appendix D.
- 8.4 The new Article 4 Direction will be applied to cover the whole boundary of the Granville Park Conservation Area.
- 8.5 The promotion, publication and use of the new Granville Park Design Guidance which forms part of the Appraisal.
- 8.6 Historic England in its Advice Note 1 identifies the importance that management strategies can have in helping retain an areas character. A Management Plan is developed from the review of the Conservation Area Appraisal as an essential tool in ensuring the special character of the area is preserved and enhanced. The following issues and proposed management/actions have been identified within Granville Park and are set out in further detail in the Management Plan section (section 11) of the appraisal document:
- Inappropriate boundary treatments to properties and public spaces (including the quarry) – control of boundary treatments would be extended by the provision of a new Article 4 Direction.
 - Insensitively designed new buildings, including extensions to existing properties – the Design Guide produced as part of the update provides more detailed design advice to be applied in Granville Park Conservation Area.
 - Poorly maintained buildings and sites – advice to building owners is available through the Council’s Planning Pre-application advice service. Sites identified will be monitored.
 - Loss of original and traditional features on buildings such as the loss of traditional windows, roofing materials and the rendering of brick buildings – control of such alterations and in particular the loss of features on road side elevations will be extended across the whole of the Conservation Area through the new Article 4 Direction.
 - Large areas of hard standing or paving to the front of dwellings – as above, the recommended Article 4 Direction will help control the provision of hard standing and the loss of front gardens over the entire Conservation Area.
 - Loss of trees within the Conservation Area – the management plan identifies where there are opportunities for replacement.

- The wish to see improvements to the Quarry – the management plan establishes the Council's support for proposals which would encourage more diverse use of the Quarry and protect and enhance its biodiversity value.

8.7 It is proposed that that these issues will continue to be tackled through a number of means including the control of development and the use of enforcement action where it is appropriate to do so. Extending control over development through a new Article 4 Direction covering the whole Conservation Area should help to prevent the erosion of character through actions such as the loss of traditional features and materials. Officers will also continue to provide advice to owners as requested and make residents aware of potential funding such as Conservation Area Grant schemes and the Hedging Grant scheme.

8.8 Subject to approval of the recommendations, the procedure for making an Article 4 Direction requires consultation with any residents affected by the changes, including a press notice to be published. The draft Direction identified will come into force on undertaking the notification with residents and can remain in place for up to 6 months. Any representations from property owners affected by the Directions will be included in a further report back to Cabinet prior to deciding whether or not to confirm the Direction.

9.0 SUSTAINABILITY IMPLICATIONS/COMMUNITY STRATEGY

9.1 There are no significant sustainability impacts associated with this report and, in particular, no significant impact on crime and disorder.

9.2 The need to continue with efforts to protect and improve the quality of the Borough's environment including the streetscene, natural and built heritage of our towns, villages and countryside has been identified as a key issue in the Sustainable Community Strategy.

9.3 The historic environment has an important role to play in contributing to sustainability in West Lancashire. The appraisals help value the distinctiveness of the local areas and provide a better understanding of the state of the physical and historical environment. The work seeks aims to improve the environment and cultural heritage of the wider community.

10.0 FINANCIAL AND RESOURCE IMPLICATIONS

10.1 There are no significant financial or resource implications arising from this report although a programme of small scheme enhancement works including a Traditional Features Grant Scheme is currently supported via the Capital Programme.

10.2 However there are circumstances in which local authorities may be liable to pay compensation having made an Article 4 Direction, although the potential liability is limited by time limits that apply. Compensation in all cases can only be claimed

for abortive expenditure or other loss or damage caused by the removal of the permitted development rights. .

11.0 RISK ASSESSMENT

11.1 The work undertaken is an important part of the Council's duty to preserve its Conservation Areas. Under existing legislation Councils are required to formulate and publish proposals for the management of its designated Conservation Areas.

11.2 Article 4 Directions provide planning controls over the impacts of minor development on the character and appearance of Conservation Areas. Failure to apply the Article 4 Directions weakens our management of these historic areas and risks the Authority not fulfilling its duty to preserve the historic character and appearance of both Conservation Areas.

12.0 CONCLUSIONS

12.1 The review of the Borough's conservation areas remains important work, which is essential for the proper management of our important historic places. The review work has confirmed that Granville Park Conservation Area retains its special architectural or historic interest.

Background Documents

- | | |
|------|---|
| 2016 | Advice Note 1: Conservation Area Designation, Appraisal and Management (Historic England) |
| 1997 | Granville Park Conservation Area Appraisal |

Equality Impact Assessment

There is a significant direct impact on members of the public, employees, elected members and / or stakeholders. Therefore an Equality Impact Assessment is required. A formal equality impact assessment is attached as an Appendix F to this report, the results of which have been taken into account when undertaking the actions detailed within this article.

Appendices

Appendix A – Granville Park Conservation Area Draft Character Appraisal

Appendix B – Granville Park Conservation Area Design Guide

Appendix C - Plan of Conservation Area extension and new Article 4 Direction boundary.

Appendix D - Article 4 Direction schedule

Appendix E – Granville Park Conservation Area Consultation responses

Appendix F - Equality Impact Assessment



Granville Park Conservation Area Draft Character Appraisal Update



October 2016

This Draft Conservation Area Appraisal Update is open for consultation from Monday 17th October 2016 to Friday 4th November 2016. Copies of this document are available through the West Lancashire Borough Council website or paper copies are located for reference at Ormskirk Library, the Borough Council Offices at 52 Derby Street Ormskirk and the Customer Contact Centre in Skelmersdale. Comments should be directed to Cerys Edwards (Planning Officer – Policy and Conservation) via email - cerys.edwards@westlancs.gov.uk, through the online comments form on the Conservation Area pages of the West Lancashire Borough Council website <http://www.westlancs.gov.uk/planning/heritage-and-environment/conservation-areas.aspx> or using a paper comments form available with the document at the locations listed above.

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1. Introduction

- 1.1. This appraisal is part of a rolling programme of appraisals of all the Conservation Areas in West Lancashire. The Borough Council has an obligation under Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990 to review, from time to time, its Conservation Area designations, and under Section 71 of this Act to formulate and publish proposals for the preservation and enhancement of these areas.
- 1.2. The Granville Park Conservation Area was designated by West Lancashire District Council in 1975. The southern part of the Conservation Area incorporates Granville Park itself which consists of a serpentine road fronted by housing plots and four short cul-de-sacs. The northern part comprises a former quarry and a group of detached properties around Delph Lane, Moss Delph Lane and Quarry Drive.
- 1.3. The last appraisal of the Conservation Area was carried out in October 1997. This document aims to identify and re-affirm the special architectural or historic interest of the area which justifies its designation. In this instance this review is not intended to supersede the previous 1997 appraisal, but rather adds a further layer of understanding in recording changes and potential threats to the character and appearance of the Conservation Area.
- 1.4. The outcome of a review might typically result in an update to the existing appraisal, recording what has changed, confirming (or redefining) the special interest that warrants designation, setting out any new recommendations and revising the area's management strategy. Historic England's most recent advice on the topic¹ states the process of review plays a part in the management of the Conservation Area, and should result in the formation of a management plan.
- 1.5. As part of this review an objective study has been conducted, which has assessed the contribution (both architecturally and historically) that individual properties make within the Conservation Area. This appraisal work has extended beyond the boundary and is used to examine the potential for extending the boundary of the Conservation Area. The outcome of this study is illustrated in *Map 3*.

2. Planning Policy Context

- 2.1. At a national level the National Planning Policy Framework (NPPF) sets out the Government's Planning policies for England and how these are expected to be applied. The NPPF recognises that a core role of the planning system is to conserve heritage so it can be enjoyed by future generations and sets out the wider social, cultural, economic and environmental benefits of heritage. Paragraph 127 of the NPPF states that local planning authorities should ensure that Conservation Areas justify their status because of their architectural or historic interest.
- 2.2. The West Lancashire Borough Council Local Plan Development Plan Document 2012 – 2027 guides development within the Borough. The vision for the plan is for West Lancashire to be an attractive place where people want to live, work and visit. The distinctiveness of West Lancashire including the contribution made by its historic buildings and places should be valued, sustained and where possible, enhanced.

¹ Historic England Advice Note 1: Conservation Area Designation, Appraisal and Management (2016)

- 2.3. Policy EN4 of the Local Plan (Preserving and Enhancing West Lancashire's Cultural and Heritage Assets) identifies that the historic environment has an aesthetic value which helps create a unique sense of place. Protection is to be afforded the historic environment, and there is a presumption in favour of the conservation of designated heritage assets (which includes Conservation Areas).
- 2.4. The West Lancashire 'Design Guide' Supplementary Planning Document (published in January 2008) provides specific direction in relation to design, including works to buildings in the historic environment. It states that development proposals should always be sensitive to the character of the historic environment, be of high quality in terms of design and the materials used and aim to enhance the character and appearance of the building and/or wider area.

3. Community Involvement

- 3.1 Consultation and early involvement of both local communities and owners is important in achieving support for Conservation Areas and a better understanding of what contributes towards its special character.
- 3.2 All residents within the Conservation Area were invited to a workshop which took place at 6:30pm on 12 April 2016 at the Council Offices in Ormskirk. Twelve local residents attended with a further three supplying comments after the event. The workshop presented an opportunity for residents to discuss conservation related issues and what contributes towards the special character of the Conservation Area. The comments made at the Workshop have fed into this Draft Appraisal.

4. History and Development

- 4.1 A brief history of the Granville Park Conservation Area and its surroundings was published in the 1997 Conservation Area Appraisal. This history, together with those of all the 28 Conservation Areas in the Borough, has been published in a document entitled *The Conservation Areas of West Lancashire: A Brief History (2007)* which is available to download from www.westlancs.gov.uk/heritage

5. Summary of Special Interest

Key Characteristics of the Conservation Area

5.1 The key attributes of the Granville Park Conservation Area derive from a number of factors including:

- 5.1.1 The serpentine layout of the residential development, views along which are framed by mature trees.
- 5.1.2 The semi-rural setting of the residential park with views across the fields south of Winifred Lane.
- 5.1.3 A general feeling of informal openness within the residential area. This is created by a number of aspects including:
- Generous plot sizes. Despite many of the buildings being of substantial scale and mass, their setting surrounded by green space helps to reduce their visual impact and contributes to their sense of being set within a semi-rural landscape. Analysis of the plot sizes in Granville Park reveals that those properties built as part of the first phase of development (phasing of development is described in more detail in section 5) are generally set within the largest plots with the buildings on average covering less than 10% of the total plot area. The exception to this are instances where there has been subdivision of a plot. The second phase properties are still set within substantial plots, but the proportion of the plot covered by the building is slightly greater – on average this is up to 15%.
 - The ‘gaps’ between buildings. Many houses are separated from the neighbouring property by a significant amount of landscaping.
 - The set back of the property within the plot allowing for landscaping to the front. This means that the houses are glimpsed from the streetscene through landscaping, rather than dominating it.
 - Relatively small and discretely located areas of hardstanding within the residential curtilage – usually leading to a garage.
 - Understated boundary treatments which help to maintain a green frontage to the street scene. These fall into two categories:
 - Formal – traditionally created through the use of low walls or estate railings with a hedge behind
 - Informal - a simple hedge of a native species.
- 5.1.4 Extensive tree and shrub cover and roadside grass verges provide colour and a feeling of seclusion. The mature trees positioned along the roadside and others visible over rooftops and between buildings also provide an important green backdrop to the built development.
- 5.1.5 This green backdrop combined with the open spaces of the quarry and the private Tennis Club play a significant role in the creation of an Arcadian^{G 2} character. The unmade road

² Words marked with ^G are explained within the Glossary at the end of this document.

surfaces on Quarry Drive and north of the tennis club also contribute to this informal, rustic character.

- 5.1.6 The variety of property types from different eras. No two properties in Granville Park are the same. There is considerable diversity even amongst properties of the same era that hints at bespoke architecture. Common features and materials are used, but in different combinations to produce this variety.

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5.1.7 The group value of the row of substantial, imposing late Victorian detached and semi-detached houses built at the northern end of the serpentine loop of Granville Park, Middlewood Road, Town Green Lane and near the quarry. Their form is generally two principle storeys, but with additional floors in the basement and roof space so that the main ground floor is approached via a short flight of stone steps. The Victorian properties around the quarry (Quarry House, Fairholme, The Quarries and 15 Delph Lane) are physically separated from the others, smaller in scale and display a simpler architectural form with less detailing - perhaps due to their more functional relationship to the quarry. However most of the houses of this era share a common palette of materials and a number of similar architectural features which are listed below:



Examples of Victorian properties in the Conservation Area

Materials:

Red bricks

Stone heads and cills to windows often incorporating decorative mouldings

Painted timber vertical sliding sash windows with horns^G

Painted panelled timber doors

Cast iron rain water goods

Painted timber fascia boards and barge boards^G

Architectural Features:

Italianate^G and Gothic^G styling

Decorative barge boards^G and fascias

Finials^G

Console brackets^G

Canted and square bay windows^G

Coloured brick banding

Roof forms of a mixture of gables^G and hips^G, occasionally broken by dormers^G, towers and chimneys

Large chimneys with numerous chimney pots

Detailed entrances, some reached by a series of steps, some with canopies, others with internal porches.

Low brick boundary walls, many with stone copings and gate piers.



Brick walls with stone detailing to the front of the Victorian properties

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5.1.8 The group value of the Edwardian^G houses located in the north of the Conservation Area – along Delph Lane, Moss Delph Lane and Quarry Drive. These properties are constructed of a common palette of materials and display architectural features typical of the era. These include:

Materials:	Architectural Features:
Orange/red machine-made bricks	Simple stone detailing to windows
Some use of render on feature walls	Square and canted bay windows ^G
Slate roofs	Timber vertical sliding sash windows with horns ^G
Painted timber windows, fascia boards and barge boards	Painted timber panelled doors
Leaded door surrounds, some with stained glass decoration	Half-timbered ^G detailing to gables
	Slated canopies over ground floor windows supported by elaborate timber brackets
	Chimneys with a number of chimney pots
	Low wall constructed of orange/red machine made bricks, capped with stone or shaped bricks. Decorative stone or brick gate piers, some of which incorporate the name of the property.



Examples of Edwardian properties in the Conservation area.



An example of the decorative gateposts and walls with shaped bricks outside the Edwardian properties on Delph Lane.

5.1.9 The group value of the slightly later Arts and Crafts^G era properties which also have a similar palette of materials and array of architectural features, listed below:

Materials:

Red Brick

Roughcast render (either a light brown colour or a painted finish)

'Rosemary red'^G clay roof tiles

Painted timber casement windows^G

Architectural Features:

Brick plinths^G

Prominent front gables^G and feature gabled bays

Projecting eaves^G with projecting spar ends^G (rather than boxed eaves^G)

Leaded-light^G and stained glass detailing to casement windows

Stylised entrance porches - some with simple canopies; others inset, constructed of brick and rounded in form

Feature chimneys topped with chimney pots



Examples of 'Arts and Crafts' properties in the Conservation Area.

6. Assessment of Special Interest

Location and Setting

- 6.1 The Conservation Area lies at the southern end of the contiguous settlements of Ormskirk and Aughton in the south of the Borough. (See **Map 1** which shows the Conservation Area boundary and its wider context). Apart from some isolated groups of older buildings, Aughton is predominantly a collection of twentieth century residential developments. It is a popular residential area because of its attractive environment and convenient transport links to Preston to the north and Liverpool to the south.
- 6.2 Although the Conservation Area is almost entirely surrounded by later residential developments; rolling open fields, dotted with farmsteads, extend to the south west and act as reminders of the area's agricultural heritage.
- 6.3 Part of the western boundary of the Conservation Area is formed by the Liverpool to Preston railway line. This is significant, as the presence of the railway facilitated the growth of Aughton.
- 6.4 The Conservation Area is on the southern slope of the low sandstone hill upon which Aughton is built. The land generally falls gently from north to south, although the depression of the former quarry between Delph Lane and Quarry Drive is a significant departure from that general topography.

Views

- 6.5 Views out from a Conservation Area can often help connect it to its surroundings and enable the Conservation Area to be 'rooted' in the town or landscape. The dense vegetation and surrounding housing development severely restrict most long distance views into and out of the Conservation Area. However the junction of Winifred Lane with the entrance to Granville Park, near the War Memorial, provides an attractive view of the War Memorial surrounded by trees and a glimpse of the properties beyond.
- 6.6 Vistas are enclosed views, usually long and narrow due to being enclosed and shaped by features such as buildings, streets and trees. Several of these have been identified within Granville Park:
- § The footpath which runs north – south through the park provides a vista enclosed by the rear garden fences and walls of houses in Granville Park. This sense of enclosure is particularly tangible in summer when the boundary trees add a further green dimension to this vista.
 - § The footpath north of the Tennis Club which connects the end of the cul-de-sac section of Granville Park to the rest of the serpentine provides an almost rural vista entirely encircled by vegetation.
 - § The constriction created by the narrowness of the southern part of Delph Lane provides a dramatic contrast to the openness of the quarry.
- 6.7 Vistas and views are illustrated in **Map 3**.



Views down footpaths within Granville Park.

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Historic Development and Architectural Quality

- 6.8 Development within the Granville Park Conservation Area can be broken down into four phases. These phases are illustrated in **Map 2** and described in more detail below.
- 6.9 The 1848 map of Aughton shows that the hamlet of Town Green was already established around the junction of Winifred Lane and Bold Lane. However, with the exception of the quarry at the end of Delph Lane, (which was then not a through route) the area was entirely agricultural land, divided into irregular fields. There was a collection of buildings around what it now known as Limetree House and Farm (referred to on the 1848 map as Webster's Farm). Any remnants of these would therefore appear to be the oldest buildings in the Conservation Area. (See **Figure 1** below).



Figure 1: 1848 Map of Granville Park and its surroundings

- 6.10 The opening of the Liverpool to Ormskirk railway line in 1849 provided the opportunity for commuting from Aughton to Liverpool, and many houses were subsequently built to accommodate commuters. Landowners saw the opportunity for increased profit from residential developments and the loop road forming Granville Park was laid out, with the surrounding land divided into building plots.

Phase 1 (late Victorian period)

- 6.11 The map of 1893 (**Figure 2** below) shows that the north side of Granville Park, the area immediately around the quarry and around the junction with Town Green Lane / Middlewood Road was the first

to be developed from approximately the 1880s with large detached and semi-detached dwellings. These Victorian villas are not identical – there is evident variety of form and architectural styles, including Italianate⁶ and Gothic⁶, but a uniform palette of materials was used. Those still remaining from this era include no. 24 – 36 (evens), 40, Granville Park, Quarry Cottage (15 Delph Lane), The Quarries, Quarry House and Fairholme.



Figure 2: 1893 Map of Granville Park



Photograph showing first phase of development in Granville Park

Phase 2 (1901 - 1945)

6.12 The early decades of the 20th century saw residential development start to move further around the Granville Park serpentine and onto land north of the quarry. There is some distinction between those that reflect Edwardian features and those that display the Arts and Crafts architectural style popular at the time. This is described further below:

(A) Edwardian^G

The Edwardian properties are two storey, detached and of a more moderate size in comparison to the earlier Victorian properties. Those belonging to this era include:

- § Delph Lane: no.1 – 5 (odd) and no.11;
- § Moss Delph Lane: no 212 and 214;
- § Quarry Drive: Aughton House, Charlton and Eastwood

(B) 'Arts and Crafts' style^G (constructed up until approximately the Second World War)

These are substantial two storey properties, some with attic accommodation, of a similar scale to the original Victorian villas. Those displaying these characteristics include:

- § 3, 5, 6, 7, 9, 10, 14, 18, 23, 42, 44, 49, 57, 57a, 60, 84, 86 Granville Park

The development of the second phase of properties in Granville Park can be seen in *Figure 3* below dating from 1927.

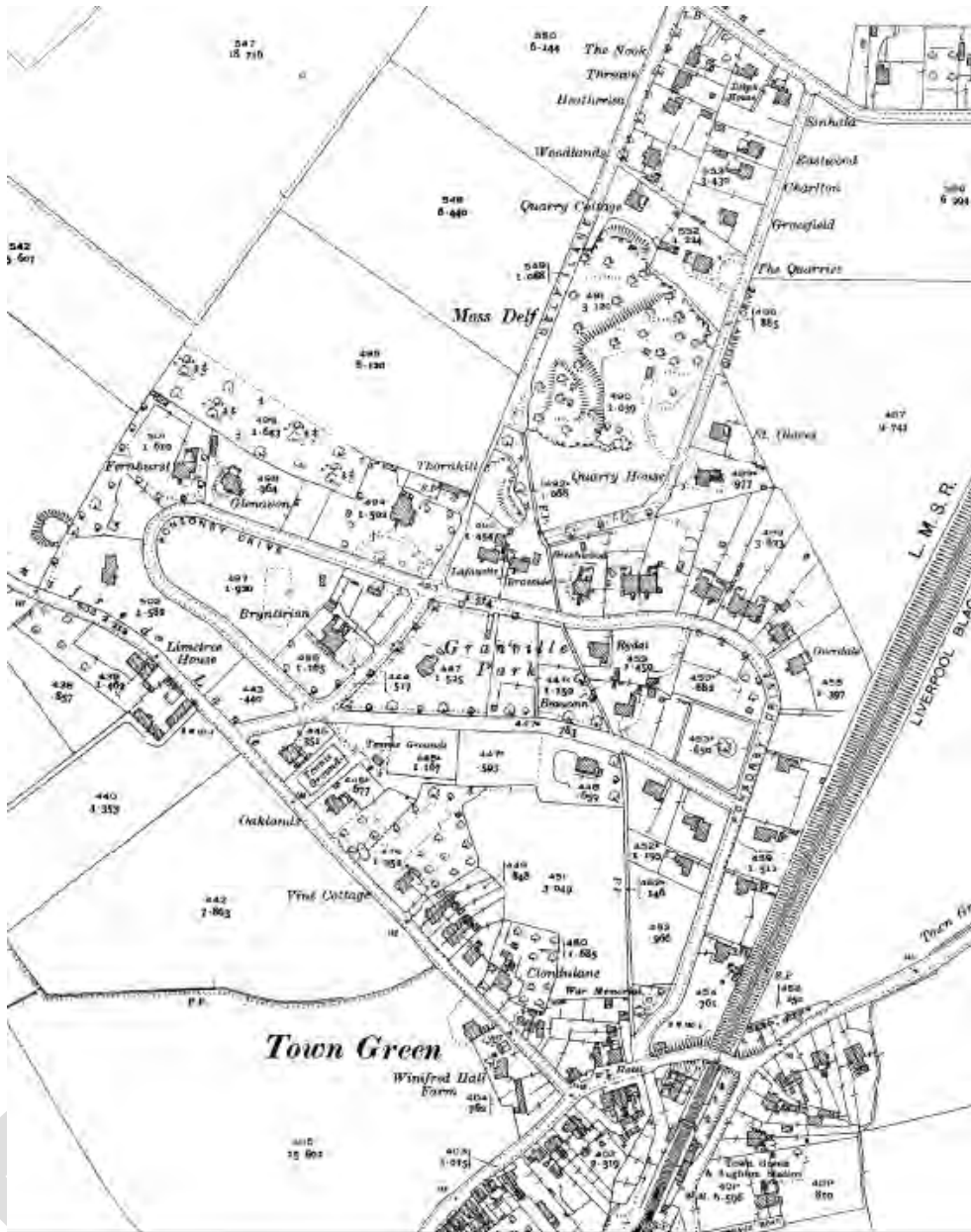


Figure 3: 1927 Map of Granville Park



This early 20th century photograph shows some of the newly constructed phase 2 properties alongside the late Victorian development visible at the head of Granville Park. 7 Granville Park lies on the left of the picture in the foreground, while no.6 is in the right foreground. The vacant plot to the south (later to be occupied by no.5) is also clearly visible.

Phase 3 (Post War – 1979)

- 6.13 As the Twentieth Century progressed, more substantial changes took place in the Conservation Area. Increased housing demand saw vacant plots developed and some larger plots sub-divided. The 1960s/70s also saw the demolition of two large original Victorian properties located on the western loop of the serpentine – Thornhill and Fernhurst which both had substantial grounds. These were replaced with several detached properties – those at Thornhill Close and Thornhill. Virtually no evidence of these former properties still exists – in the case of Fernhurst only the original gate piers remain.
- 6.14 Generally the development during this period is of no particular architectural style. House types followed those found in other suburban volume house builder estates. In terms of form, a mixture of bungalows and smaller two storey properties were built. The properties from this era include:
- § Granville Park West: 35, 37, 43, 45, 48, 58, 66, 70
 - § Granville Park: 2, 2a, 4, 8, 11, 15, 17, 19, 20, 20a, 22, 27, 38, 55
 - § Quarry Drive: Delphside, Woodside and The Alcove
 - § Moss Delph Lane: 210
 - § Middlewood Road: 1a

Recent development (1980 – present)

- 6.15 Following this third phase of development, the rate of development in Granville Park slowed as the number of available plots diminished. Granville Close was developed on the former site of Fernhurst

and a number of other properties were built on sub-divided plots – mainly of those properties built in the early 20th century. More recent years has seen the demolition and rebuild of houses and substantial extension of phase 2 and 3 properties.

6.16 This more recent phase of properties have tended (with some exceptions) to increase the proportion of built development within the plot – pushing the figure towards 20% and in some cases beyond this.



Recent development in Granville Park.

Layout

6.17 The Portland stone War Memorial in the form of an obelisk set within a small landscaped garden area (*see below*) marks the main southern entrance to Granville Park. This is the start of the serpentine road which leads through the area.



6.18 Moss Delph Lane is a through traffic route and Delph Lane provides a vehicular link north out of Granville Park. The remainder of the roads in the Conservation Area principally only serve the properties within it, or are quiet cul-de-sacs – e.g. Quarry Drive.

6.19 The northern part of the Conservation Area incorporates a former quarry which is perhaps the oldest man made feature within the Conservation Area, having supplied the stone for many local buildings, not least Christ Church, Aughton. The quarry is now a wooded recreation area and Local Nature Conservation Site.

Plot size

6.20 Plot sizes generally vary across the Conservation Area – a legacy of the phased development described above. As part of the update to the Appraisal, an assessment was made of the size of each of the plots, as well as a calculation of the proportion of the plot occupied by built development. Despite some exceptions, a general trend has emerged:

- Phase 1 properties typically possess the largest plots with properties occupying the smallest proportion of the plot – typically 10% or less. Exceptions exist where there has been plot subdivision, or substantial extension of the property (e.g. in the case of the former Nursing Home – no.26 Granville Park.)

- Phase 2 properties (both Edwardian and those constructed in Arts and Crafts style) have slightly smaller plots, with properties typically covering up to 15% of the plot, although many still have similar proportions of plot coverage (e.g. less than 10%) to the original Victorian properties.
- Phase 3 properties were generally constructed on smaller plots and therefore the proportion of the plot occupied by built development increased. Most occupy between 10-15% of the plot, although there are a significant number occupying a larger proportion than this – usually due to extensions.
- The trend towards larger properties on smaller sites has continued with properties developed in the last 30 years – many of these properties occupy over 15% of the plot, with some occupying over 20% of the plot.
- Maintaining the plot size and the ratio of the plot size to the buildings on particular sites is a key characteristic of the Conservation Area (see Section 5).

Open Space, Trees, Gardens and boundaries

- 6.21 The Quarry is the only public recreation space in the Conservation Area. This small wooded area (*see below*), approximately 1.5 hectares in size, was a former quarry working site which is now within the ownership of Aughton Parish Council. It has a very natural appearance, dominated by self-seeded trees, mainly Beech with some Birch. As the site has matured it has become an important area for biodiversity, supporting a mix of wildlife habitats. Also of interest is its evidence of the local geology with the steep sloping rock faces.



- 6.22 The majority of properties in Granville Park have retained their mature front gardens and the associated mature landscaping of trees, shrubs and hedging. Together with the roadside trees, this provides a picturesque setting for the houses in Granville Park which makes an important contribution towards the area's green character. This mature landscaping of both streets and

gardens in the area also creates a much quieter ambience of the thoroughfares of Granville Park when compared to other streets and roads outside the Conservation Area.

- 6.23 Trees are important to the Conservation Area for many reasons, not least because they can be attractive features in their own right. They add colour to the area, changing with the seasons, soften the hard edges of buildings and structures and can screen and frame views. They also provide shade and shelter for wildlife and absorb carbon dioxide. Virtually every garden has a least one mature specimen tree, and several houses have trees in the front, side and rear gardens. There are also valuable trees within the verges. There is a wide range of species including Scots Pine, Yew, Silver Birch, Ash and Sycamore as well as more exotic species such as Eucalyptus and Acers.
- 6.24 Boundaries such as walls, fences or hedges separate private spaces from the public realm of roads and pavements both physically and visually. Some of the older properties still have their original attractive brick boundary walls at the front with stone copings and impressive stone gate piers. In other areas, original hedgerows which preserve the area's semi-rural feel still remain. These include species such as Privet, Holly and deciduous trees such as Hawthorn and Beech.



Traditional boundary treatments still remaining in the Conservation Area

- 6.25 The curved stone walls at the entrance to Quarry Drive, and stone wall at the constriction of Delph Lane also contribute to the almost rural feel and character.
- 6.26 Later 20th Century development has introduced more of a mixture of boundary treatments into the Conservation Area. (*Map 4* illustrates the different boundary treatments in existence in the area). There has been a tendency towards the installation of higher, more impermeable boundary treatments, including high walls and railings and electronic gates, constructed of either metal or wood, with the aim of increasing privacy and security of properties. This was highlighted within the previous appraisal as a detracting feature which has led to an increasing 'suburbanisation' of the streetscene and an erosion of the green, landscaped setting of these properties.

7.0 Further Action and Issues

Possible changes to the Conservation Area boundary

- 7.1 National planning guidance states that when considering the designation of Conservation Areas, local planning authorities should ensure that an area justifies such status because of its special architectural or historic interest, and that the concept of conservation is not devalued through the designation of areas that lack special interest. Although this section specifically refers to designation, this principle should also be used when considering boundary revisions to existing Conservation Areas.
- 7.2 The boundary of the Granville Park Conservation Area has been revised once since its designation. This took place in 1997, as part of the last Appraisal. This saw the area extended outside of the Granville Park serpentine - in two locations to the south to include properties on Middlewood Road, Winifred Lane and Town Green Lane.
- 7.3 As part of the re-appraisal of a Conservation Area, it is good practice to assess properties beyond the current boundary. The Granville Park Conservation Area is relatively self-contained with surrounding properties being from a different era, architectural style and serving a different function. However one building which is considered to be of a similar era and reflect a number of the key characteristics of the Conservation Area was the Cockbeck Tavern. This was assessed (using the same criteria as those within the Conservation Area) to determine the extent to which it reflects the Conservation Area's key characteristics (identified in Section 4). The potential extension to include this building and the plot associated with it is illustrated in *Map 5*.

Possible extension

- 7.4 The Cockbeck Tavern lies immediately to the south of the Conservation Area and is being considered for inclusion for the following reasons:
- It plays a significant role in the setting of the Conservation Area - framing the western entrance to the serpentine route of Granville Park
 - It is located on a key corner site and is seen in close context to the War Memorial immediately to the north east
 - Old editions of maps for the area appear to show that it is contemporary with the earliest development within Granville Park
 - It shares some architectural features with the Victorian and Edwardian buildings in the Conservation Area – for example sash windows and a slate roof.
- 7.5 Having considered the above, our recommendation, subject to consultation with local residents and consideration of any comments received, is that this property should be added into the Conservation Area.

Recommendation: To extend the boundary of the Conservation Area to include the Cockbeck Tavern – as illustrated in *Map 5*.

- 7.6 In line with Historic England guidance³ we propose that the possible extension should be subject to public scrutiny and consultation with local residents before a decision is taken to amend the Conservation Area boundary.
- 7.7 A Local Authority's power to cancel or vary a designation is given by Section 70 of the Planning (Listed Buildings and Conservation Areas) Act 1990. In terms of procedure, the local authority must follow the same publicity procedures to vary or cancel a designation as they do to designate an area. In addition, notice will be given to the Secretary of State and Historic England with details of the area affected.

8.0 Article 4 Direction

- 8.1 Under the current Permitted Development Order⁴ insertion of dormer windows into roof slopes, the installation of satellite antenna on walls, roofs or chimneys fronting a highway, and the application of cladding are not permitted development in Conservation Areas (i.e. the works will require planning permission). However, even with these restrictions, the character and appearance of Conservation Areas can be negatively impacted by insensitive alterations to individual buildings which are allowed under permitted development – e.g. replacement of doors or windows. An Article 4 Direction does not necessarily prevent development or change taking place, but enables the Local Authority to retain control over the design and detailing of the works, and possibly grant permission subject to appropriate conditions.
- 8.2 Following the previous full appraisal of the Conservation Area in 1997, the Council felt that there was justification for placing an Article 4(2) Direction on a number of properties within the Conservation Area to remove a number of their permitted development rights. This covered all of the Phase 1 Victorian properties and some of the Phase 2 Edwardian properties and is illustrated in *Map 6*.
- 8.3 Part of the Appraisal process requires consideration of changes that have occurred over the years since the previous Appraisal which may compel the revision of this additional control. There has been a growing pressure for modernisation of properties in Granville Park in recent years. There are several properties (particularly Phase 2 properties) not currently protected by the Article 4 Direction that retain a number of original features which could potentially be removed without the need for planning permission. This would have a negative impact upon the character of the individual property and its contribution to the character of the wider Conservation Area.
- 8.4 Given the changes that have occurred over the last 20 years, the Council feels the extension of the Article 4 Direction across the whole of the Granville Park Conservation Area would be appropriate in order to prevent further insensitive alterations to properties which make a positive contribution to the area's character and prevent further threats to the key characteristics highlighted in section 5. This proposal is illustrated in *Map 6*.

³ Paragraph 14, 'Conservation Area Designation, Appraisal and Management' Historic England Advice Note 1. (Historic England) February 2016.

⁴ Town and Country Planning (General Permitted Development) (England) Order 2015

Recommendation: To extend the Article 4 Direction to cover the entire Conservation Area (including any approved extension), as illustrated in **Map 6**.

8.5 This would have an impact on all the types of development outlined in the table below:

Element of Article 4 Direction proposed for Granville Park	Reason
Erection, alteration or removal of a chimney on a dwelling or a building within the curtilage	Chimneys are important features on many of the properties within the Conservation Area.
Enlargement, improvement or other alteration of a dwelling *	To protect original windows, doors and other important original features.
Alteration of a dwelling roof *	Alteration of roofing materials would negatively impact upon the character of the Conservation Area given the predominance of natural materials – e.g. slate and clay tiles.
Erection/construction of a porch outside any external door *	A porch is a prominent feature on the front elevation of a property and therefore can have a significant impact upon its appearance.
Provision within the curtilage of a building, enclosure, swimming or other pool incidental to the enjoyment of the dwelling or required for the maintenance, improvement or alteration of any building or enclosure *	The introduction of such a feature has the potential to impact upon the setting of the property and therefore the character of the Conservation Area.
Hard surfaces within the curtilage of a house incidental to its enjoyment *	The increase of areas of hardstanding, particularly to the front of properties within Granville Park has the potential to erode its landscaped setting, which is an important characteristic of the Conservation Area.
Installation, alteration or replacement of satellite antenna on house or curtilage *	Satellite antennae should be controlled to ensure they are correctly sited.
Erection or demolition of gates, fences, walls or other means of enclosure within the curtilage *	Boundary walls are important features within the Conservation Area.
Painting of the dwelling or buildings or enclosure within the curtilage *	Painting of buildings – particularly brickwork may have a significant impact on the character of the Conservation Area.

In respect of the developments marked with *, a direction only relates to those developments fronting a highway, a waterway or an open space (defined as any land laid out as a public garden, or

used for the purposes of public recreation, or land which is a disused burial ground). In the case of an extension, if any part, such as the side, fronts the highway etc, then this will be covered.

- 8.6 Since the previous Appraisal, the General Permitted Development Order⁵ has been changed, allowing for the installation of solar photo voltaic (PV) or solar thermal equipment in certain locations on buildings without the need for Planning Permission. At present there is no planning control over this type of work within the Conservation Area, although this could be achieved by including such works within a new Article 4 Direction.
- 8.7 Some solar PV/thermal panels have been installed within the Conservation Area in recent years. Their installation on the roofs of properties can obscure, to some extent, the original roof covering and can cause harm to the character and appearance of the Conservation Area.

Recommendation: To extend the development covered in the Schedule of the Article 4 Direction to include Part 14, Class A (the installation, alteration or replacement of microgeneration solar PV or solar thermal equipment on domestic properties) so that this form of development will require Planning Permission.

⁵ Town and Country Planning (General Permitted Development) (England) Order 2015

9.0 Further Development in the Conservation Area

- 9.1 One of the threats identified within the previous Conservation Area Appraisal was the possibility of future pressure for further development.
- 9.2 The sense of spaciousness to the residential plots created by a number of different aspects related to layout and building footprint have been identified (see Section 5 on key characteristics) as making a positive contribution to the character and appearance of the area. Although plot sizes in the Conservation Area are not uniform, their substantial size and the ratio between the plot size and the extent of buildings on the site contribute to the area's spacious character and parkland feel. Maintaining this is therefore important and cases of plot subdivision harm the special character of the Conservation Area.
- 9.3 Applications for the partial or total demolition of properties (commonly phase 3 properties) followed by rebuild have increased since the last Appraisal. As part of this update, each building has been assessed against a list of criteria related to character. The score each achieves forms the basis of its contribution (i.e. whether it makes a positive, neutral or no contribution to Granville Park's character). Proposals for the demolition of buildings assessed as making a positive contribution will be resisted. In the case of other buildings, the loss of the building and the impact of its replacement will be carefully assessed on a case-by-case basis.
- 9.4 In order to help applicants consider the impacts of their proposals on the character and appearance of the Conservation Area, the Council have produced a Design Guide which covers the issues applicants need to consider when extending or replacing existing properties including layout within the plot, landscaping and boundary treatments.

10.0 Positive Contributors to the Conservation Area

- 10.1 The key characteristics of the Conservation Area, as identified in section 5.1, form the basis of the positive contributors to the area. This includes the value of the original development, in terms of the buildings and landscape and the intrinsic link between the two. *Map 3* also illustrates the outcome of an assessment of the houses within the Conservation Area – including those that make a positive contribution to the special character of the area.

11.0 Management issues

- 11.1 The Management Plan for a Conservation Area is an essential tool in ensuring the special character of the area is preserved and enhanced. The table below outlines the issues identified during the previous (1997) Appraisal, progress made in relation to these issues as well as any new concerns identified since. Development pressures are addressed separately in Section 9 above.
- 11.2 This document and the Appraisal document highlight the important features and the areas where action will be desirable in the future. How the works are financed largely depends on the ownership situation and on the availability of public sector finance to support those works that are not viable for landowners. It is expected that the checklist above will be used as a starting point for determining the areas for priority action and for where funds should be targeted in the future should they become available.

Issue	Progress	Comments	Implementation
Unightly lighting columns and lanterns	Completed - lighting columns were replaced with new lantern-style columns following the last Appraisal.	N/A	N/A
Inappropriate boundary treatments to properties and public spaces (including the quarry)	On-going	There are some examples of more 'suburban', solid boundary treatments to properties. The Design Guide accompanying this Appraisal provides advice to homeowners on the kind of boundary treatments which preserve the character of Granville Park. The recommended extension of the Article 4 area would help prevent the loss of further original walls and control the style of replacement.	In the long term to seek the replacement of any walls/fences with more appropriate boundary treatments. Residents to be made aware of the Hedging Grant Scheme available for the repair or reinstatement of hedging. An Article 4 Direction would prevent the erection of further inappropriate

Issue	Progress	Comments	Implementation
<p>Insensitively designed new buildings, including extensions to existing properties</p>	<p>The previous Appraisal defined some of the key characteristics of the Conservation Area which contribute to its special character.</p>	<p>This has provided useful evidence and guidance for developers and Planning Officers making decisions on applications for development in the area or for defending decisions in the case of planning appeals.</p> <p>Current planning policy – including the existing Local Plan and Supplementary Planning Document (SPD) on Design aim to raise awareness of the value of good design and provide advice on how this might be best achieved.</p>	<p>walls/ fences/gates.</p> <p>Through guidance provided by the Design Guide SPD as well as the specific design advice produced as a result of this Appraisal.</p>
<p>Poorly maintained buildings and sites</p>	<p>Since the previous Appraisal, there has been increased investment in many of the properties within Granville Park. A significant number have been subject to applications for alteration and/or extension.</p>	<p>There remain two examples of poorly maintained buildings within the Conservation Area:</p> <ol style="list-style-type: none"> 1. The garage at the entrance to Granville Park when approached from Town Green Lane remains in a poor state of repair; however the screening provided by trees and shrubs reduces its impact. 2. No.49 Granville Park is a phase 2 building which displays a number of the key characteristics of the Conservation Area and has been 	<p>These properties are within private ownership therefore the Council is unable to intervene at this stage.</p> <p>The Council offers a planning pre-application advice service should the owner of either site wish to propose future changes.</p>

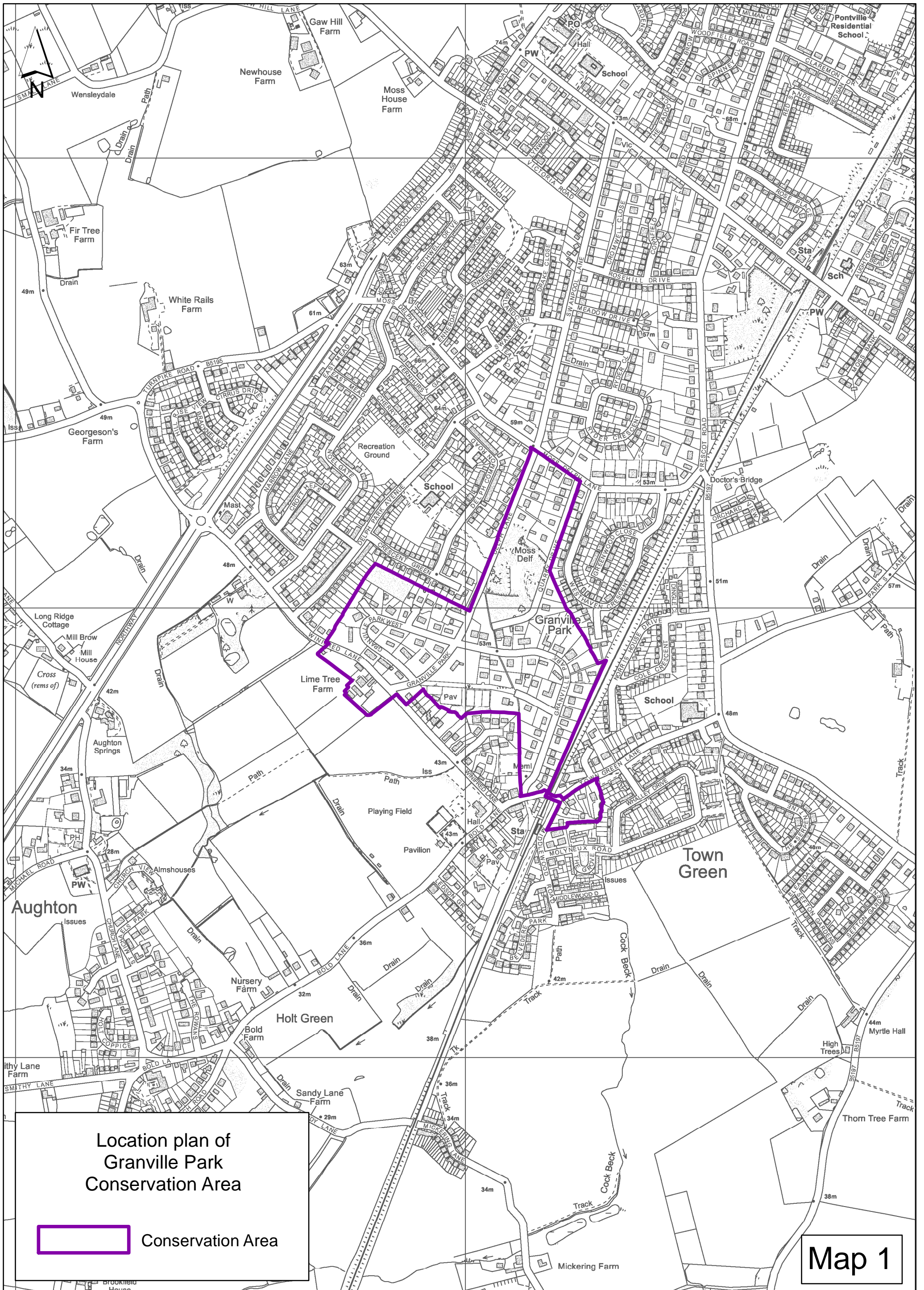
Issue	Progress	Comments	Implementation
		<p>assessed as making a positive contribution to the Conservation Area. However it is currently unoccupied with overgrown grounds and has been subject to vandalism over recent years. Whilst the building currently remains intact, its vacant state leaves it vulnerable to further vandalism and damage.</p>	
<p>Loss of original features on buildings of architectural or historic interest, such as the loss of traditional windows and roof materials and the rendering of brick buildings.</p>	<p>This has been reduced since the last Appraisal when the majority of the Phase 1 properties and some of the Phase 2 properties were protected by an Article 4 Direction. However this did not cover all Phase 2 properties, so there has been a loss of original detailing and features within this era of properties.</p>	<p>This issue is discussed further in Section 8 and is the reason for the recommendation to extend the Article 4 Direction to cover the whole Conservation Area.</p>	<p>Through the recommended extension of the Article 4 Direction area to include the whole of the Granville Park Conservation Area.</p>
<p>Large areas of hard standing or paving to the front of dwellings.</p>	<p>This has been an issue which has emerged since the previous Appraisal.</p>	<p>There have been an increasing number of applications for alterations to driveways and increasing the amount of hard standing to the front of properties in order to accommodate additional car parking.</p>	<p>Encourage the reduction of areas of hard surface and replacement with smaller parking areas and natural vegetation (gardens).</p> <p>Through negotiation with landowners and the extension of the Article 4 Direction across the whole Conservation Area to prevent further such development.</p>

Issue	Progress	Comments	Implementation
Loss of trees which require felling	This has been an issue which has emerged since the previous Appraisal	Many of the trees in Granville Park were planted at the same time, as part of the original Victorian residential development. This means that a number may come to the end of their natural lifespan at a similar time, potentially creating gaps in tree cover which will have a significant visual impact and influence on the overall character of the area.	<p>In the case of a privately-owned tree covered by a Tree Preservation Order, then the Council will require a replacement tree to be planted in a suitable location.</p> <p>Roadside trees are the responsibility of Lancashire County Council with whom we will seek to negotiate a replacement.</p>
Improvements to the Quarry		<p>The Quarry is the responsibility of the Parish Council.</p> <p>A tree survey has recently been carried out to determine the condition and safety of trees within the quarry.</p>	<p>Support proposals which will:</p> <ul style="list-style-type: none"> · encourage more diverse use of the Quarry · protect and enhance its biodiversity value.

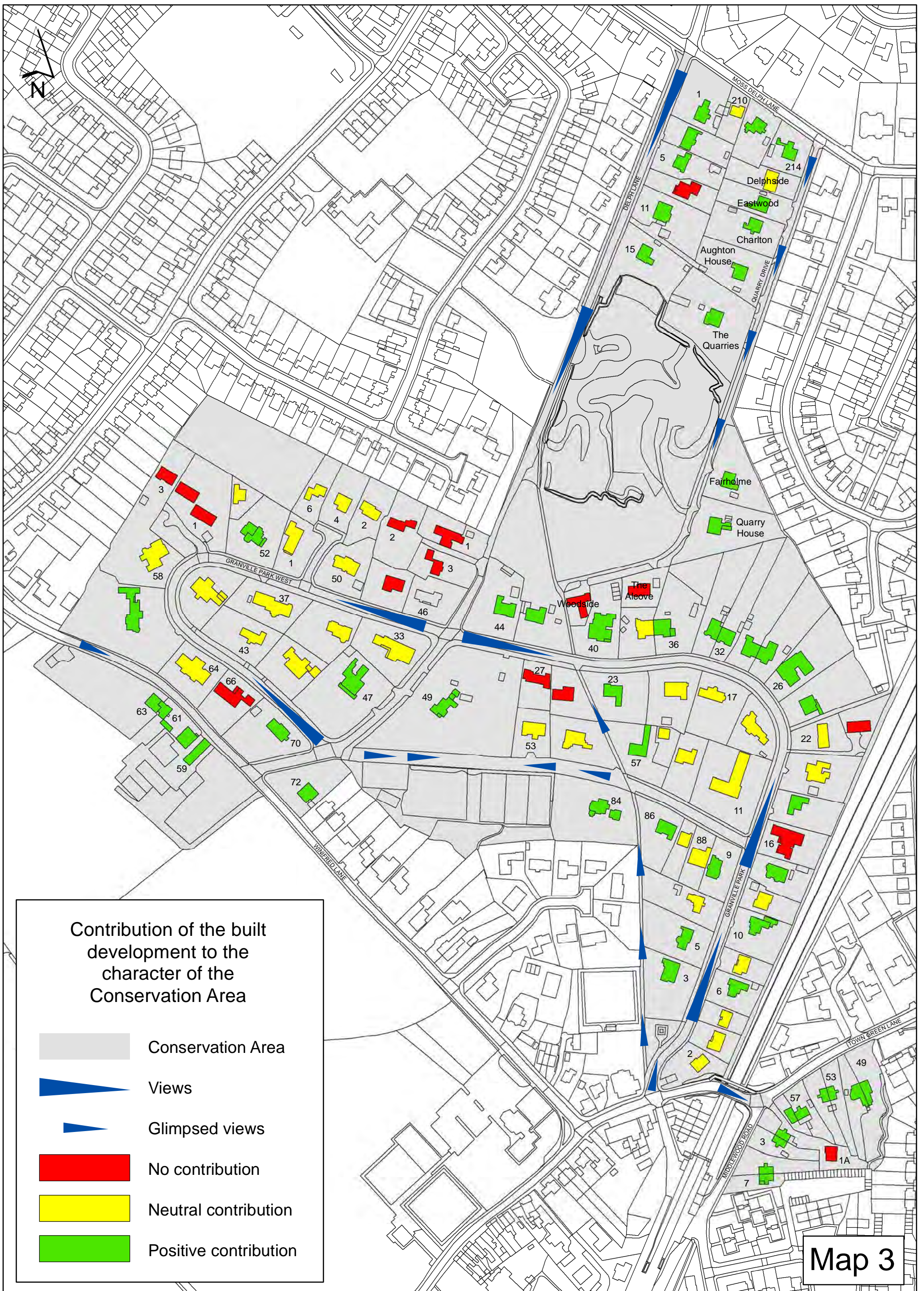
<i>Arcadian</i>	A rural, rustic, or pastoral feel, with the appearance of parkland.
<i>Arts and Crafts era</i>	Although a wider cultural movement, in relation to architecture, the Arts and Crafts Movement was a reaction to Victorian industrialisation. It grew from a desire to revive traditional craftsmanship and restore simplicity and honesty to how buildings were made. Architects used local materials and traditional styles to create something that would not jar with its surroundings and that looked as if it had grown over many years. Houses used straightforward construction with the quality of materials emphasised by design, not buried under artificial decoration. There is a clear preference for solid shapes, wide porches, steeply sloping roofs and wooden fittings.
<i>Barge board</i>	A board fastened to the projecting gables of a roof to give them strength, protection, and to conceal the otherwise exposed end of the horizontal timbers or purlins of the roof.
<i>Bay windows – canted and square</i>	A window space projecting outward from the main walls of a building. A bay window with a flat front and angled sides is called a canted bay. A square bay has windows set at perpendicular angles projecting from the building.
<i>Boxed eaves</i>	These are formed by joining a fascia board and soffit, fixed to the ends of the rafters. This means the spar ends are not visible, unlike with open eaves (see below).
<i>Casement windows</i>	A window frame that is hinged on one vertical side, and swings open.
<i>Console brackets</i>	A decorative wall bracket often made from wood which supports a bay window, part of a roof or other feature that projects out from the house.
<i>Dormers</i>	A roofed structure, often containing a window; that projects vertically beyond the plane of a pitched roof.
<i>Edwardian</i>	The Edwardian period refers to the reign of King Edward VII (1901 to 1910). The architectural style which evolved from this era featured flamboyant and elaborate external decoration. Carved woodwork adorned balconies, verandas and porches. Typical window styles

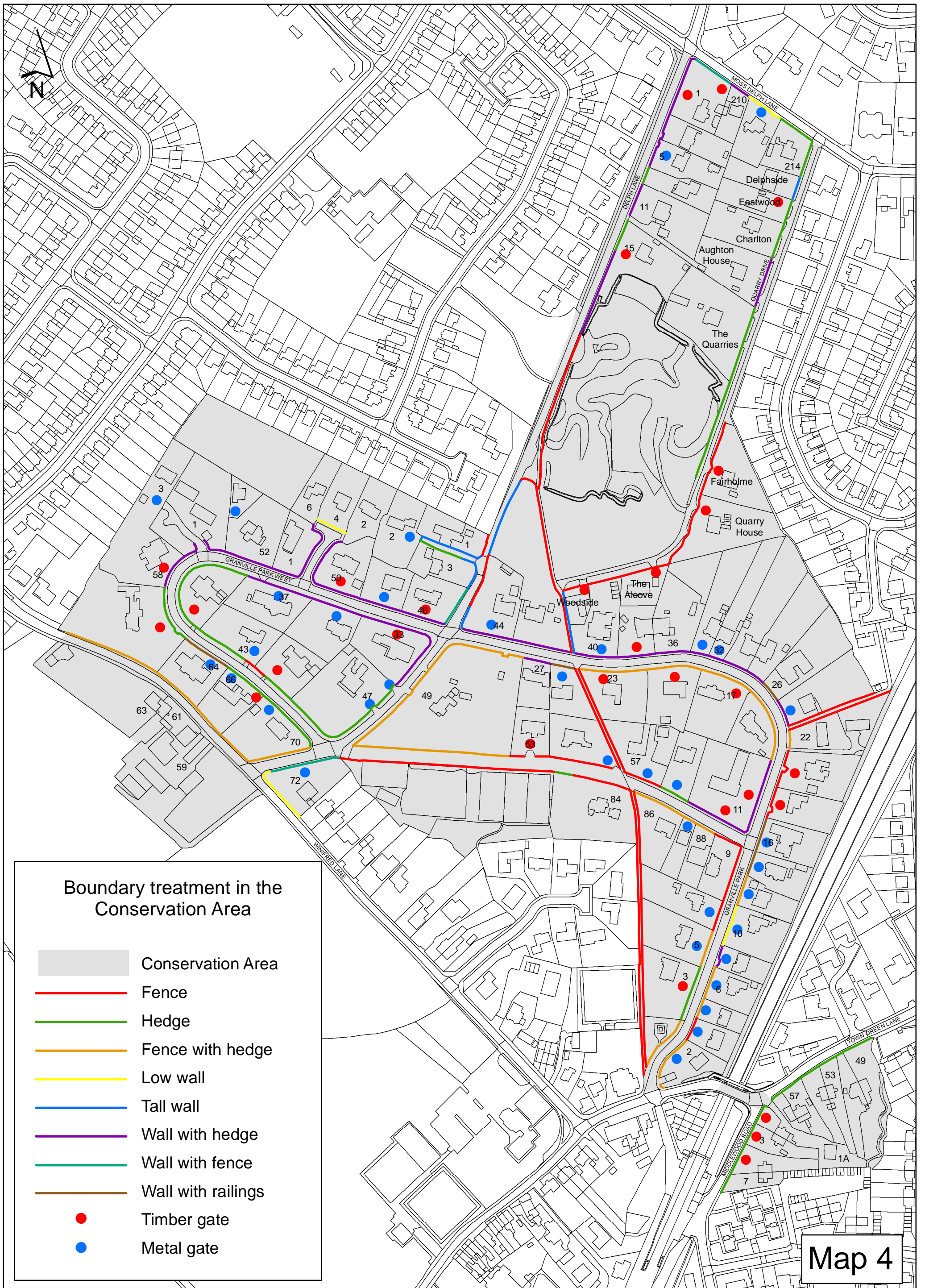
	included multi paned sashes and casements with leaded glass set within deep bay windows.
<i>Finials</i>	A distinctive decorative feature located at the apex of a roof or canopy.
<i>Gables</i>	The triangular section of an exterior wall just under the eaves of a double sloped roof.
<i>Gothic</i>	Also termed Victorian Gothic and Neo-Gothic, the Gothic Revival sought to revive medieval architectural styles. It occurred as industrialisation progressed, in part because there was a reaction against the use of machinery and factory production. The Gothic Revival style is characterised by its stone and brick structures, many of which are religious in style, as well as having a vertical emphasis, heavy decoration, pointed arches, steep gables and large windows.
<i>Half timbered</i>	A timber framework whose timbers are in-filled with masonry or plaster. A style originating from Medieval European architecture.
<i>Hips/hipped roof</i>	A type of roof where all sides slope downwards to the walls, usually with a fairly gentle slope.
<i>Horns [in sash windows]</i>	A short extension of the sash stiles beyond the meeting rails (centre horizontal section) to strengthen the joint. With modern techniques they are not necessary, but they are a typical and decorative feature of a traditional sash.
<i>Italianate</i>	The Italianate architectural style is also referred to as 'Roman'. Popularised by Queen Victoria's Osborne House, this style was employed in the 1850s and 1860s. Characterised by some or all of the following features: overhanging and heavily bracketed eaves, a low, gently pitched roof, half-round topped sash windows sometimes grouped in threes, stucco ground floor and cornices and balconies with railings.
<i>Leaded light</i>	A window consisting of a lattice of small panes held within strips of lead.
<i>Plinth</i>	The lowest part of the wall of a building that appears above ground level, usually formed of a course of stone or brick.

<i>Projecting/overhanging eaves</i>	The eaves are the edges of the roof which overhang the face of a wall and project beyond the side of a building. The primary function of the eaves is to keep rain water off the walls and to prevent the ingress of water at the junction where the roof meets the wall. In properties constructed in the Arts and Crafts style these are often projected down to first floor level.
<i>Projecting spar ends/open eaves</i>	Supporting roof timbers which project below the eaves of the building are visible and often painted.
<i>Rosemary Red tiles</i>	Made from clay, these tiles are unusually strong and resistant to damage. They are a distinctive red colour with a size of approximately 265mm x 165mm.
<i>Roughcast render</i>	Roughcast is a form of render in which the top coat is roughly textured by pebbles or stone fragments. This material is mixed with mortar and then thrown at the surface, so all the material is coated with the mortar. The surface is usually limewashed, or later painted.
<i>Spar ends</i>	The bottom ends of the vertical timbers (or rafters) which form part of the roof structure.



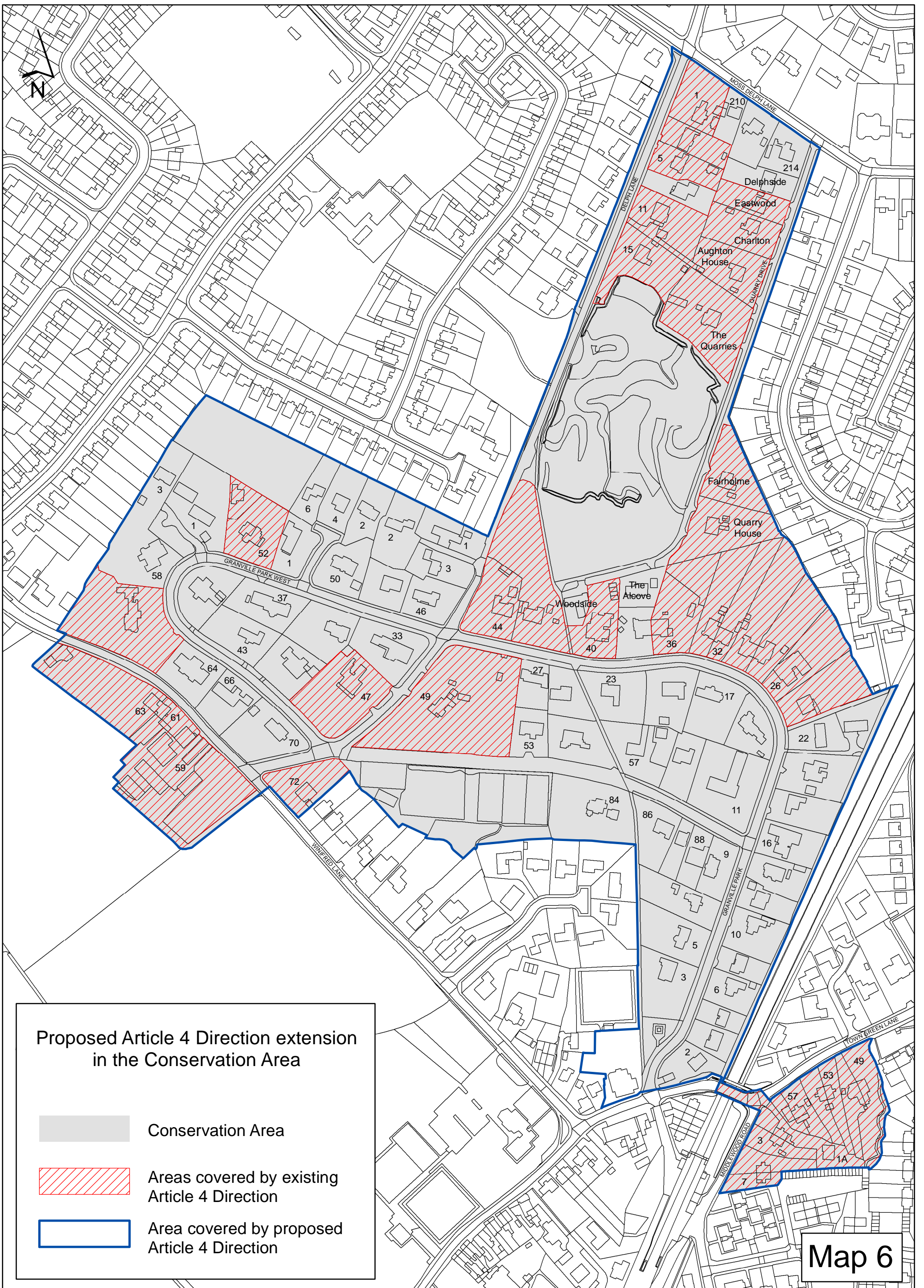






Map 4





Granville Park Conservation Area



Design Guide

This design guide has been produced by West Lancashire Borough Council and provides advice for residents in relation to alterations and extensions to properties as well as works which may take place within the wider site.

This guidance must be considered in the light of the wider planning policy context including the National Planning Policy Framework, the West Lancashire Local Plan (2012 – 2027) and the Council's Design Guide Supplementary Planning Document (2008). It should also be read in conjunction with the Granville Park Conservation Area Appraisal and Management Proposals to provide a comprehensive summary of the Council's approach to development in the area.

What makes Granville Park special?

Granville Park is a good example of a residential park initially laid out and developed in the late Victorian era but developed incrementally well

into the 20th Century. Changing architectural taste and fashion is evident in Granville Park as the older Gothic architectural style can be seen side by side with classic Edwardian features and Arts and Crafts 'Arcadian'¹ layouts and architecture of the second and third decades of the 20th Century and more modern infill development.

The arrangement of the roads and layout of the individual plots and the size and form of its buildings contribute towards the feeling of spaciousness and openness and maintains a connection to Granville Park's wider setting and semi-rural surroundings. This is supplemented by the presence of many mature trees, as well as landscape features such as the Quarry. Together these aspects combine to make an important contribution to the character of the Conservation Area.

Overall, the historic context, quality of the buildings, relationship between the layout of the roads and the positioning of the houses sets the Conservation Area apart from the surrounding residential suburbs of Aughton.

Managing change in the Conservation Area

The Character Appraisal for the area recognises that Granville Park in its current form has been developed in a number of phases; therefore change of some degree has been taking place in the area almost continuously over the past 100 years. The broad phases of development and their key features are described in more detail in the Conservation Area Appraisal.

Change within historic areas is inevitable and this is also true within Conservation Areas which cannot be left to stagnate or be frozen in time. There are many reasons why people want to make changes to their home - repairs and alterations may be necessary due to natural decay and weathering, or families may feel they need more space. Living in a Conservation Area does not mean that alterations cannot be made,

¹ A rural, rustic, or pastoral feel, with the appearance of parkland.

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but it does mean extra care must be taken when considering what changes can be made.

The Council has a duty under the Planning (Listed Buildings and Conservation Areas) Act 1990 to assess proposals for change and whether these would meet the requirement to preserve or enhance the character and appearance of the Conservation Area.

The guidance below provides further detail on how new development in Granville Park can be designed to make a positive contribution and complement the area's character.

1. *New development*

Layout of buildings within the plot

Overall, new buildings should respect the existing pattern and grain² of surrounding development. There are some specific aspects in this regard which will be important. These include:

- **Building line** – this is how far the building or property is 'set back' from the site frontage or roadside. In Granville Park, many of the original properties have a building line typically over 10 metres from the front boundary. This provides a substantial front garden area, allowing a landscaped setting for the properties which contributes positively to the area's character.
- **Orientation** – buildings should ideally be orientated so their main elevation(s) face onto the street. Buildings on corner plots should pay particular attention to 'turning the corner' through providing focal points or architectural interest and the careful design of these elevations.
- **Plot ratio / Building footprint** - (measured by the proportion of the plot which is occupied by the building). This varies - generally with the properties from the earliest phases occupying a smaller footprint in relation to the size of the plot than those developed later. In order to

² The way that buildings are sited is called the 'grain'. In effect it is the pattern or the arrangement and size of buildings and their plots in an area and to what extent it is densely developed or more open in character.

retain the open and spacious character of Granville Park, new and extended buildings should not occupy a substantially larger proportion of the plot than that of the existing property. Plot subdivision is unlikely to respect existing plot ratios or the area's character and appearance and will therefore be resisted.

- **Preserving gaps between buildings** – these are essential to the maintenance of a sense of openness and informal character. The establishment or preservation of sections of landscaping and trees between properties will help in achieving this. New development should retain the spaces between common boundaries and between adjoining properties.

Form

The scale or height of buildings is vitally important to the area's character and appearance. Particularly tall buildings can have a visual impact over an extensive area and can overly dominate the space around them. Whilst this was the intention of the architects of the original Victorian houses in the north of Granville Park and is effective in creating the sense of a grand and exclusive residential area, many of the later phase properties are built on sub-divided plots and are smaller in scale – including some bungalows. Clearly it would be inappropriate if all new properties were built to replicate the scale of the original Victorian houses as this would have a negative impact upon the sense of space and openness. Therefore when considering the appropriate scale of a new or replacement property it will be important to consider:

- The height, scale and mass of the existing building
- The proportion and design of the different building elements such as walls, roof and windows
- Its proximity to neighbouring buildings and their comparative scale
- The size and context of the site and whether it has been previously sub-divided.

Design

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High quality and carefully considered design of new development in Conservation Areas is crucial. This does not mean that it should simply copy surrounding properties, but it should always be sensitive to its context. Some principles are that:

- On the whole new development should be 'of its time' rather than resorting to simply mimicking the design of the original houses in the Conservation Area. This can involve re-interpreting architectural styles and detailing in a contemporary manner. It is important that scope be given to the inclusion of architectural invention and innovation as this can provide distinctive buildings that enrich the area.
- New buildings should always utilise high quality and robust materials and workmanship throughout. There should be a strong logic in the choice of materials made, especially where changes in material are proposed.

More detailed guidance on design principles are provided in the Council's Design Guide SPD.

2. House extensions

An extension will permanently alter the character and appearance of a property. There will be cases where carefully designed minor extensions can be added without harm to the individual house or its setting, however in some cases it may not be possible to extend at all.

In all cases, proposals for new additions must demonstrate an understanding of the site and its context. This means it is important to consider:

- The original building itself - extensions should be subordinate to and be inspired by the original form and character of the house, rather than dominating or obscuring it and its original design. In most cases roof forms, building materials and architectural details such as windows should reflect those of the original building, but it is also important that a new extension can be clearly read as a new addition. Achieving this is a careful balance.

- Neighbouring buildings – as raised in the Appraisal, maintaining the space between houses is important in Granville Park. Side extensions (even single-storey ones) which close up the gaps between properties or between common boundaries, or result in a loss or reduction of mature landscaping, that would detract from the character and appearance of the street scene, should be avoided.
- The impact of the extension on the wider plot and landscaping. The landscaped areas (particularly at the front and side) of individual plots on the whole make a recognised contribution to the character and appearance of the Conservation Area. Any development in these areas must be carefully designed and be of an appropriate size in order to preserve the setting of the building and its relationship with others.

3. Roof alterations and windows

Many of the larger Phase 1 and 2 houses in Granville Park were built with some degree of attic accommodation, often incorporating small dormer windows as a method of providing light into these spaces. Proposals to extend or alter roof spaces should consider the following general principles:

- Dormer windows should not be over-sized but in proportion to the size of the roof and be of a design which harmonises with the architectural style and appearance of the property.
- Rooflights should be placed in discreet locations (preferably on rear roof slopes, away from the road side), be modest in size and of a slim-framed, traditional design (i.e. conservation type), fitting flush with the slope of the roof.
- Solar panels should similarly be placed in discrete locations – again preferably on the rear roof slope of the property and should sit as flush as possible with the roof slope.

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4. *Garages and other outbuildings*

When considering either a new garage or other outbuilding within the plot of an original property, or a more recent development, there are a number of issues which should be considered in relation to location and detail:

- It should be positioned to minimise its visual impact and set well back from the front of the house.
- Materials and design of details such as the doors to the garage or outbuilding should be carefully considered and appropriate to the context.
- Care is needed to ensure that garage locations do not reduce the gaps between buildings.

5. *Basements*

Some of the larger Victorian properties along Middlewood Road and Granville Park were constructed with basements. When considering the installation of a basement in properties elsewhere, residents should be aware that skylights, light wells and other visible manifestations of basements can be harmful to the setting and character of a house and garden and is also potentially damaging to trees and hedges.

6. *Windows*

With regards to any original windows - which make a significant contribution to the character of a building - the following principles should be followed:

- Windows should be repaired rather than replaced where possible.
- If the original frames, casements and glass are beyond repair then any replacements should be of the same material, replicate the original subdivision, profile and style of the window. On the whole this will involve the use of appropriate timber replacements.
- Care is needed if considering the use of double glazing as this can greatly alter the appearance of windows.

- Any important historical or architectural detailing to windows (e.g. leaded lights) should be retained. The encapsulation of leading within double glazing can never replicate the authenticity of the original and should be avoided.

7. *Building materials and details*

Retaining original decorative features and using traditional materials preserves a building's character. Removal of building detail can spoil the appearance of individual buildings as it is often the quality and combination of the decorative features of the individual houses that contribute to their character. To ensure that this is preserved, the following principles should be followed:

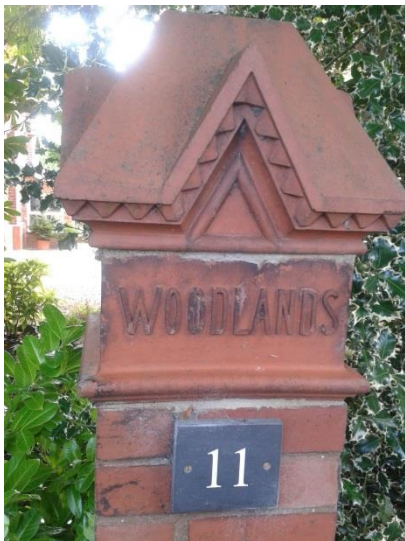
- Good quality, matching materials should be used, with close attention paid to detailing.
- Any new walls or repairs should be built in matching brick or rendering.
- With regards to roofs - often it is the fixings rather than the tiles themselves that need replacing. However, if replacement is necessary, care must be taken to match the colour, texture, size and materials of the original slates or clay tiles as they can come in a variety of shapes and sizes.
- Original chimney stacks and pots are considered important architectural features and should be retained.
- Any replacement rainwater goods should replicate historical profiles, materials and designs.

8. *Boundary treatments*

The Victorian properties in the northern section of Granville Park and the Edwardian properties around the Quarry generally are fronted by a low brick wall, some with original gate piers and stone or half round brick copings. Additional privacy is provided by a hedge (usually privet or holly) located behind this low wall. The effect of

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this is a formal boundary, but one which is softened through the inclusion of greenery and through which glimpses of the property behind can still be seen. Other properties are bounded by a simple hedge.



Decorative gate pier in Delph Lane

In the case of the original properties which retain boundary walls or hedges, their removal would have a detrimental effect upon the character of the historic building and they should be retained where possible.

When providing new boundary treatments high, solid boundary treatments should be avoided since they obscure the glimpsed views of the properties which contribute to the streetscene. Effective security should be provided through more subtle means which respect the area's semi-rural and 'open' character. For example, simple 'estate' style railings can be softened by hedge planting.



Example of 'Estate' railings

Species such as Privet should be considered as they are traditional favourites in Granville Park. As well as being a hardy species, it is suitable for most garden soils and lends itself well to pruning. Other species such as Beech or Holly are also typical in Granville Park. Further advice can be sought from the Council's Tree Officers.

Gates should follow the same principles, allowing glimpses through from the street frontage to the property beyond. Taller gates of a solid construction which obscure these glimpsed views should be avoided. Decorative wrought iron style gates would have been typically found at the front of many of the Victorian houses in Granville Park, and can offer security and still provide views through to the properties beyond.

9. Trees

The contribution of mature trees and established planting both along the roadside and in the gardens of many properties to the character of Granville Park is identified within the Key Characteristics of the Conservation Area and should be retained.

Anyone wishing to remove or prune a tree within a Conservation Area must notify the Local Authority which has 6 weeks to consider the proposal and respond. Work cannot proceed until the Council has responded or the 6 week period has expired. The purpose of this requirement is also to give the Local Planning Authority an opportunity to consider whether a Tree Preservation Order should be made in respect of the tree.

It is important that where major tree works are to be undertaken these are carried out by a qualified tree surgeon. West Lancashire Borough Council has a list of Approved Arboricultural Contractors that have been assessed for their standard of work and checked for the correct insurance documents. Further advice can be obtained from the Council's Tree Officers.

10. Landscaping

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The majority of front gardens feature hedges and other planting which soften the impact of the houses in their setting.

The depth and extent of landscaping needs to be preserved when considering changes such as:

- extending a property (especially in the case of corner plots)
- providing or extending a parking area or area of hard standing

Further advice and guidance

We strongly recommend that homeowners or developers take advantage of the Council's Planning Pre-application advice service at an early stage when considering alterations to their properties or new development in Granville Park Conservation Area.

The advantages of going through the Pre-application process are clear. If development is acceptable in principle, it enables changes to be made and potential problems to be overcome before an application is submitted, saving time during the application process and minimising the risk of planning permission being refused. The response will also inform the applicant of any information they would be required to submit with an application for Full Planning Permission.

Forms to apply for Pre-application advice are available through the Planning pages of the Council's website:

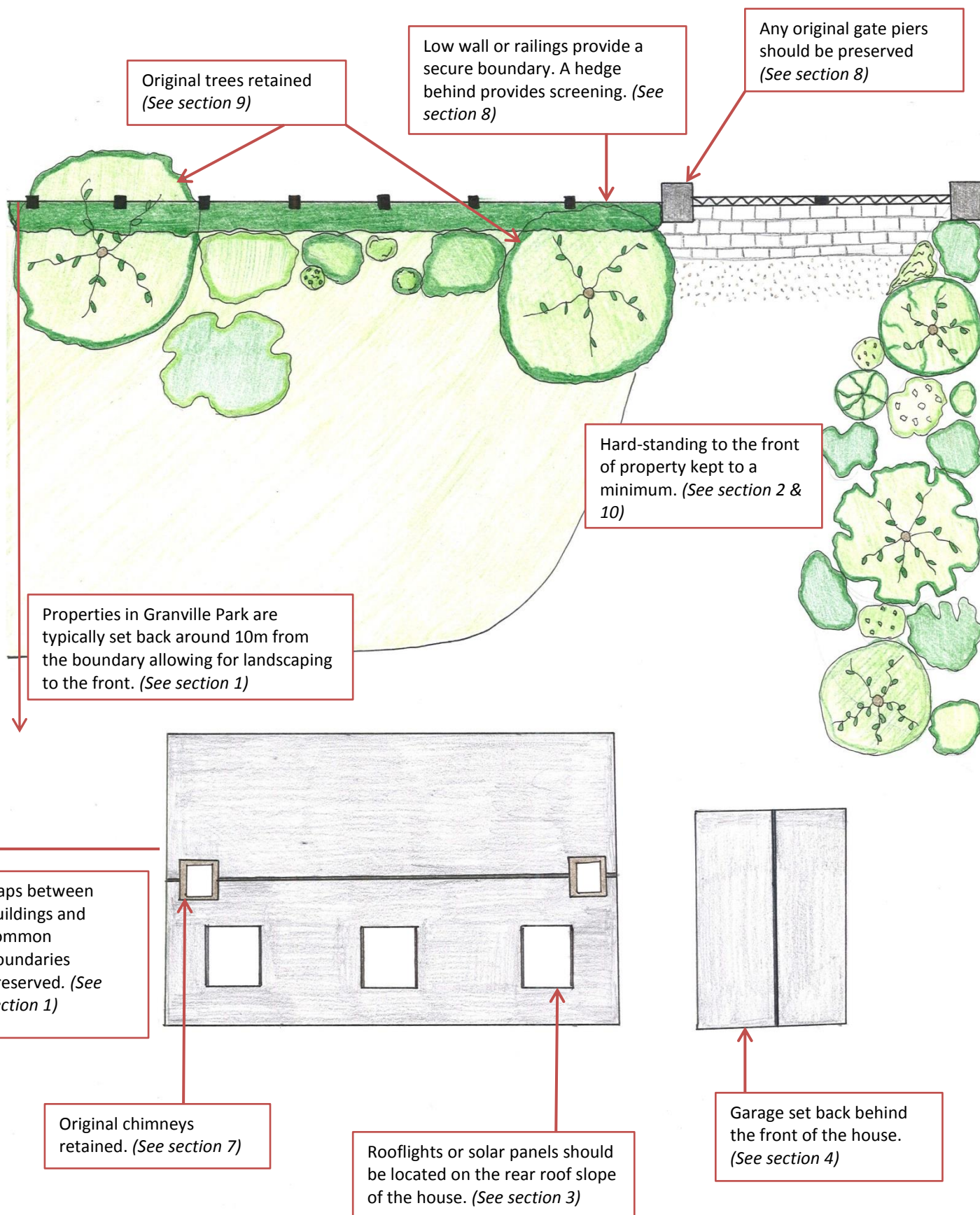
www.westlancs.gov.uk/planning

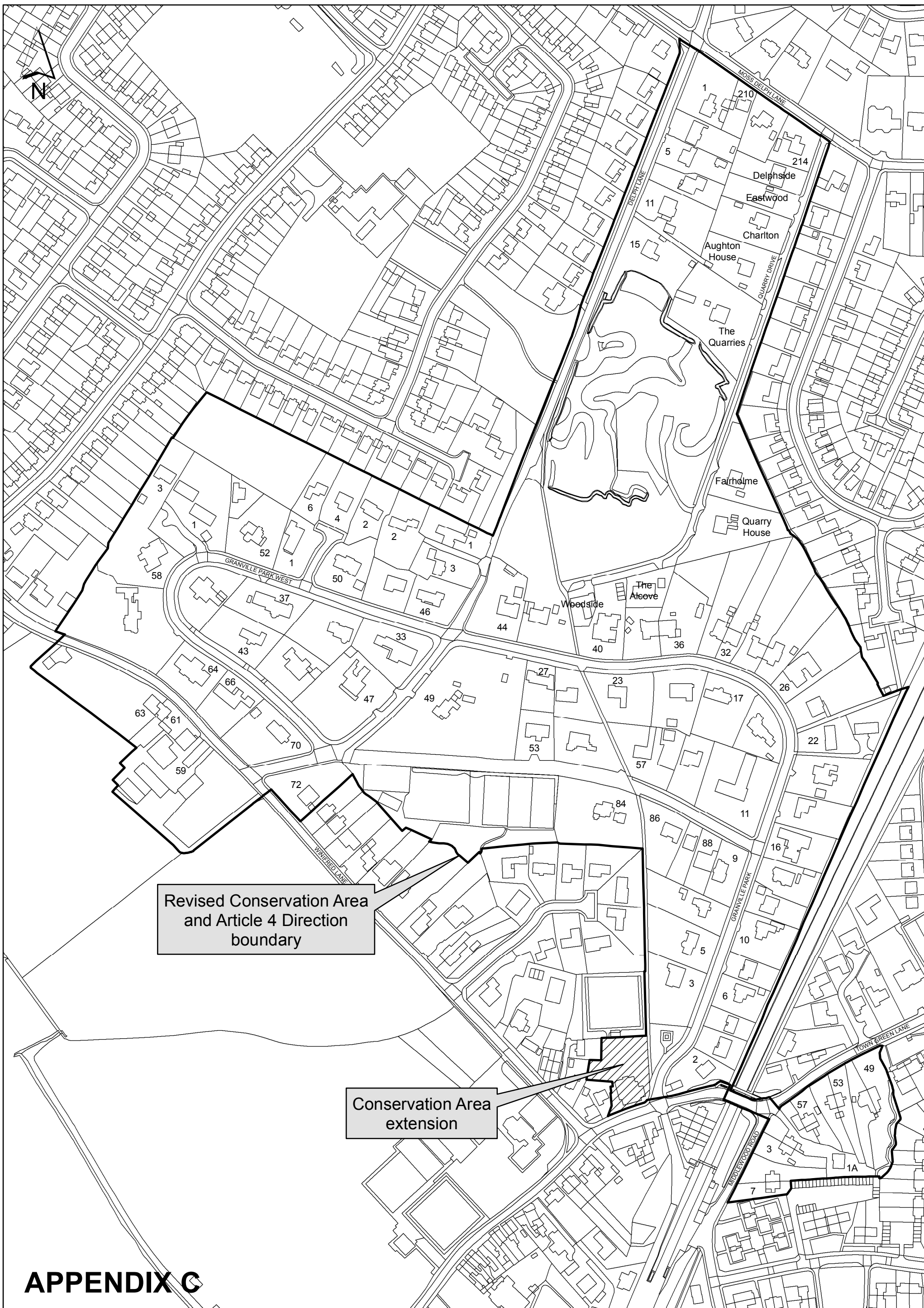
Further guidance about applying for this advice is available from Planning Support on 01695 585239. General Conservation advice can be sought from the Council's Conservation Officers on 01695 5855167 or 01695 585068.

Advice concerning trees, hedging or landscaping can be obtained from the Council's Tree Officers – Dave Thornber on 01695 585114 or Roland Jones on 01695 585168.

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The sketch below provides an example of a typical Granville Park frontage and illustrates some of the aspects discussed throughout the Design Guide. Labels refer to the relevant sections of the Design Guide where further information can be found.





Revised Conservation Area
and Article 4 Direction
boundary

Conservation Area
extension

APPENDIX C

Element of Article 4 Direction proposed for Granville Park	Reason
Erection, alteration or removal of a chimney on a dwelling or a building within the curtilage	Chimneys are important features on many of the properties within the Conservation Area.
Enlargement, improvement or other alteration of a dwelling *	To protect original windows, doors and other important original features.
Alteration of a dwelling roof *	Alteration of roofing materials would negatively impact upon the character of the Conservation Area given the predominance of natural materials – e.g. slate and clay tiles.
Erection/construction of a porch outside any external door *	A porch is a prominent feature on the front elevation of a property and therefore can have a significant impact upon its appearance.
Provision within the curtilage of a building, enclosure, swimming or other pool incidental to the enjoyment of the dwelling or required for the maintenance, improvement or alteration of any building or enclosure *	The introduction of such a feature has the potential to impact upon the setting of the property and therefore the character of the Conservation Area.
Hard surfaces within the curtilage of a house incidental to its enjoyment *	The increase of areas of hardstanding, particularly to the front of properties within Granville Park has the potential to erode its landscaped setting, which is an important characteristic of the Conservation Area.
Installation, alteration or replacement of satellite antenna on house or curtilage *	Satellite antennae should be controlled to ensure they are correctly sited.
Erection or demolition of gates, fences, walls or other means of enclosure within the curtilage *	Boundary walls are important features within the Conservation Area.
Painting of the dwelling or buildings or enclosure within the curtilage *	Painting of buildings – particularly brickwork may have a significant impact on the character of the Conservation Area.
The installation, alteration or replacement of microgeneration solar PV or solar thermal equipment on a dwellinghouse or a block of flats; or a building situated within the curtilage of a dwellinghouse or a block of flats*	The installation of these panels on the roofs of properties, particularly on those elevations facing on to the road, can obscure, to some extent, the original roof covering and result in harm being caused to the character and appearance of the Conservation Area.

* In respect of these developments a direction only relates to those developments fronting a highway, a waterway or an open space (defined as any land laid out as a public garden, or used for the purposes of public recreation, or land which is a disused burial ground). In the case of an extension, if any part such as the side fronts the highway etc. then this will be covered.

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Name & Address	Section/Document	Comment	Council Response
Resident, 17 Granville Park	Draft Character Appraisal	Agree with the draft character appraisal, and support the proposed recommendations, in particular the inclusion of the Cockbeck Tavern within the conservation area and the extension of the Article 4 direction to the whole conservation area.	Support noted.
	Draft Character Appraisal – Key Characteristics	Suggest that some reference is made to the grass verges at roadside as being a key characteristic of the conservation area which ought to be preserved.	Grass verges are highlighted within the list of key characteristics – at Para. 5.1.4
Page 1001	Draft Design Guide: New Development	<p>Agree in particular with the following sentence in relation to plot ratios:</p> <p><i>"In order to retain the open and spacious character of Granville Park, new and extended buildings should not occupy a substantially larger proportion of the plot than that of the existing property."</i></p> <p>However, we also feel that similar guidance is appropriate in relation to height (i.e. only incremental increases in height should be allowed). The draft character appraisal is clear that the seclusion and privacy of existing dwellings is a key characteristic of the conservation area. Therefore, new development should not be so high as to intrude into the privacy or seclusion of neighbouring properties.</p> <p>Construction of replacement buildings at a larger scale (particularly height) than their replacement affects both the privacy and outlook of neighbouring properties and so ought to be discouraged.</p>	<p>The scale (including height) of buildings is addressed in the next section of the Design Guide on 'form' of development. This section outlines the issues relating to the height of buildings (i.e. surrounding context and heights of existing buildings) that it is important to consider when developing a new or replacement property in Granville Park.</p> <p>Privacy and outlook are amenity issues rather than conservation issues and as such would be assessed by a Planning Officer as part of any planning application for new development.</p>
	Draft Design Guide: Design	<p>We would strongly disagree with the following sentence in relation to design:</p> <p><i>"On the whole new development should be 'of its time' rather than resorting to simply mimicking the design of the original houses in the Conservation Area."</i></p> <p>Such a statement is too vague and could be read as meaning that modern, box-like houses are acceptable in the</p>	The most successful approach to providing new development in a Conservation Area is one which begins with an examination of the context for any proposed development in great detail and seeks to relate the new building to its surroundings. This approach is explained, and a resulting set of principles are outlined in the Design Guide.

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Page 1002		<p>conservation area, which is clearly not the case. Such modern designs do not contribute either historically or architecturally to the conservation area.</p> <p>In addition, the above statement is inconsistent with paragraph 2.4 of the draft character appraisal, which states as follows: <i>"The West Lancashire 'Design Guide' Supplementary Planning Document (published in January 2008) provides specific direction in relation to design, including works to buildings in the historic environment. It states that development proposals should always be sensitive to the character of the historic environment, be of high quality in terms of design and the materials used and aim to enhance the character and appearance of the building and/or wider area."</i></p> <p>Suggest that the Draft Design Guide be re-worded to say that new development should be of a design character that contributes to the conservation area, either historically or architecturally, or both, and should not be too dissimilar to the design character of other dwellings within the conservation area.</p>	<p>This does not imply that any one architectural style is, by its nature, more likely to succeed than any other, and the Council cannot be prescriptive of the architectural style of replacement properties. There is no simple formula which can be applied to new development in Conservation Areas, whether that formula consists of 'fitting in' or 'contrasting the new with the old'. Both approaches may be suitable in different circumstances, Therefore it is important that each application should be considered on its own merits.</p>
	Map 3 - Draft Character Appraisal	<p>It is notable that a number of modern (box-like) houses, and houses of a completely incompatible architectural design, have been built in recent years in Granville Park, and that these are considered (in Map 3 of the draft character appraisal) as making "no contribution" to the conservation area.</p>	<p>The more modern properties in the Conservation Area have been assessed as having either a positive or neutral contribution to the character of the Conservation Area.</p>
	Design Guide: Materials	<p>Agree with the following sentence with regard to building materials: <i>"New buildings should always utilise high quality and robust materials and workmanship throughout. There should be a strong logic in the choice of materials made, especially where changes in material are proposed."</i></p>	<p>The Design Guide deals with issues specifically related to conservation – and the need to ensure the character and appearance of the Conservation Area are either preserved or enhanced.</p>

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Page 1003		However, we would suggest that such guidance be qualified by the need for sustainable development, which avoids unnecessary wastage of buildings or materials.	The Council would support the principle of reduction and recycling of building materials in the interest of carbon reduction and efficient use of resources. However, the inclusion of a specific requirement to this is beyond the scope of development management.
	Design Guide: Trees and Landscaping	<p>Agree with the following sentence in relation to mature trees: <i>"The contribution of mature trees and established planting both along the roadside and in the gardens of many properties to the character of Granville Park is identified within the Key Characteristics of the Conservation Area and should be retained."</i></p> <p>However, what about younger trees which have not yet matured? Clearly, these should be retained also. The draft character appraisal already notes that many of the mature trees will reach the end of their natural life-spans at around the same time. Therefore, it is necessary to preserve younger trees too.</p>	<p>The specific reference to mature trees was not intended to be exclusive – it simply recognises the particular aesthetic value of mature specimens. Works to all trees within the Conservation Area require notice to the Council, regardless of age.</p> <p>Amend wording to read: <i>"The contribution of trees (particularly mature trees and established planting) both along the roadside and in the gardens of many properties to the character of Granville Park is identified within the Key Characteristics of the Conservation Area and should be retained."</i></p>
	Design Guide: Trees and landscaping	The Draft Design Guide does not provide guidance concerning garden or tree lighting. We have noticed in recent years a trend, in new buildings in Granville Park, to add lights into garden areas. Some of these are for security reasons, and often are only triggered by motion sensors, whereas some are ostentatious and kept lit up throughout the night, sometimes throwing unwanted light into neighbouring properties. We would suggest that some guidance be included regarding garden and tree lighting in the conservation area.	<p>Light itself, and minor domestic light fittings, are not subject to planning controls.</p> <p>Nuisance lighting is specifically dealt with under Environmental Protection legislation and is beyond the remit of Planning.</p>
Resident, 2 Granville Park	Draft Character Appraisal – general comments	<p>Generally agree with the content of the Appraisal.</p> <p>Trees form an important feature in the conservation area but, during the autumn period, leaves in the road create</p>	<p>Support noted.</p> <p>Streetscene issues are beyond the remit of Planning. Any specific problems should be</p>

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Page 1004		problems with surface water drainage from the roads and sweeping needs to be more frequent.	reported to the Council's Streetscene services.
	Para. 6.18	Disagree with the statement that with the exception of Moss Delph and Delph Lane traffic in the area only serves the properties within the area. Granville Park seems to me to have a flow of through traffic. Vehicles regularly park in front of the War Memorial.	<p>Agree that traffic has generally increased over recent decades due to increased car use and residential development in and around Aughton. However the roads through Granville Park remain noticeably quieter than the surrounding area as they do not provide a direct through route and perhaps because of the layout of the area.</p> <p>Parking issues on public highways are beyond the remit of the Planning System. Any issues that relate to highway safety or illegal parking should be reported to Lancashire County Council or local police.</p>
	p.24	Granville Park Conservation Area should be extended as recommended – to include the Cockbeck Tavern.	Support for this recommendation noted.
	p.24	Whilst accepting the architectural relationships to other buildings in the conservation area the general appearance of the Cockbeck Tavern and its surrounding grounds has over the years been quite scruffy and adds little to the area. If bringing it into the conservation area improves that then support its inclusion.	Inclusion of the Cockbeck Tavern within the Conservation Area will increase planning powers over certain changes to the building in the future. However responsibility for maintenance and general appearance of the building lies with the building owner and are beyond the remit of planning.
		There may be benefit in including the shops in Town Green Lane and the adjacent cottages leading down to the station in the conservation area as they sit naturally between Middlewood Road and Granville Park.	When considering the amendment to boundaries of Conservation Areas, the Council has to take a cautious approach – in line with National Planning Policy Guidance which states that: “When considering the designation of conservation areas, local planning authorities should ensure that an area justifies such status because of its special architectural or historic interest and that the concept of conservation is not devalued

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Page 1005			<p>through the designation of areas that lack special interest”.</p> <p>The shops, cottages and train station along Town Green Lane have a distinctive and different character and are not felt to share enough of the key characteristics of the existing Granville Park Conservation Area outlined in the Appraisal document to justify their inclusion.</p>
		<p>Agree with the recommendation that the Article 4 Direction be extended to cover all properties in the Conservation Area</p>	<p>Support for this recommendation noted.</p>
		<p>Agree with the recommendation that the development covered by the Article 4 Direction is extended to include the installation, alteration or replacement of solar panels on domestic properties, so that this form of development will require Planning Permission.</p>	<p>Support for this recommendation noted.</p>
	Management Plan	<p>Agree with the content of the management plan proposals. However it seems surprising that problem areas that you point out as being of concern (number 49 and the garage at the corner of Town Green Lane) cannot be addressed as they are under private ownership when the proposal is to include all occupied properties in the conservation area with stricter but generally acceptable controls to preserve the character and appearance of the area.</p>	<p>The extension of the Article 4 Direction removes the rights householders have under existing planning legislation to undertake alterations to properties without requiring planning permission. (This includes changing doors and windows, making changes to roofs or erecting a porch.) They do not however give the Council powers to carry out works themselves.</p>
	Granville Park Conservation Area Design Guide	<p>Provides helpful advice.</p>	<p>Support for the content of Design Guide noted.</p>
Resident, Granville Park	Draft Character Appraisal – general comments	<p>The following areas should be included in the conservation area:</p> <ol style="list-style-type: none"> 1. Bowling Green [adjacent to Cockbeck Tavern] 2. Shops [Town Green Lane] 3. Train Station (both sides) 	<p>When considering the amendment to boundaries of Conservation Areas, the Council has to take a cautious approach – in line with National Planning Policy Guidance which states that: “When considering the designation of conservation areas, local planning authorities should ensure</p>

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<p>Page 1006</p>		<p>The bowling green is an integral part of Granville Park. It is part of the nature and overall look and feel of the area. It can be glimpsed as you walk along the public footpath through Granville Park. It is a welcome open space in the Park and is in keeping with the look and feel of the conservation area - tennis courts, large gardens, amenities for the residents.</p> <p>The shops and the train station are again part of the look and feel of the conservation area. The villas by the train station are part of the conservation area and all the railway buildings and the shops have the same look.</p>	<p>that an area justifies such status because of its special architectural or historic interest and that the concept of conservation is not devalued through the designation of areas that lack special interest”.</p> <p>The shops, cottages and train station along Town Green Lane have a distinctive and different character and are not felt to share enough of the key characteristics of the existing Granville Park Conservation Area outlined in the Appraisal document to justify their inclusion.</p> <p>The Cockbeck Tavern is visually an important focal point and clearly frames one of the main entrances to the Conservation Area from Town Green Lane. The bowling green is located to its rear, largely obscured from principle views of the Conservation Area, is substantially surrounded by housing and therefore does not perform the same function.</p>
<p><i>Resident,</i> Granville Park</p>	<p>Draft Character Appraisal – general comments</p>	<p>Very pleased that there have been steps taken to preserve the area's character.</p>	<p>Support noted.</p>
	<p>Draft Character Appraisal – general comments</p>	<p>Character buildings and facilities in the area should be protected and included within the Conservation Area - including Huyton’s, the Spar shop, the bowling green at the back of the Cockbeck pub and the station, and not just the changes in the Document that are currently proposed.</p>	<p>As stated previously, when considering the amendment to boundaries of Conservation Areas, the Council has to take a cautious approach – in line with National Planning Policy Guidance which states that: “When considering the designation of conservation areas, local planning authorities should ensure that an area justifies such status because of its special architectural or historic interest and that the concept of conservation is not devalued through the designation of areas that lack special interest”.</p>

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Page 1007			The shops, cottages and train station along Town Green Lane have a distinctive and different character which has also been somewhat more eroded over time, and are not felt to share enough of the key characteristics of the existing Granville Park Conservation Area outlined in the Appraisal document to justify their inclusion.
	Draft Character Appraisal – general comments	I am concerned that the Co-op has received planning permission to turn the pub into a retail shop in a conservation area. The parking could be a problem here.	These comments are related to a specific application rather than relevant to the Conservation Area Appraisal.
	Draft Character Appraisal – general comments	<p>The character of the area is determined by the footpaths, hedges walls and fences as well as the trees and houses. All these should be protected and prevented from excessive change.</p> <p>The footpaths are an important feature of the area, as are the grass frontages. The privet hedges should be protected - many have been lost in the last few years. Walls and fences should be uniform where possible with guidance given and protection.</p>	<p>The footpaths running North – South through the Conservation Area are Public Rights of Way. This gives the public the right to pass along the route at all times and legally, a public right of way is part of the highway and subject to the same protection in law.</p> <p>Agree that boundaries such as hedges walls and fences make an important contribution to the area’s character. This is recognised in both the appraisal and Design Guide. The revision of the existing Article 4 Direction as proposed would allow the control of removal or erection of fences or walls along the front boundary of properties. Those elsewhere lie outside of planning control.</p> <p>Privet hedges are not covered by the Article 4 Direction but we will encourage their retention where feasible as part of a development through the planning application process.</p>
	Granville Park Conservation Area Design Guide	House styles are variable in the area, but it is important for the plot size of each type of house to remain similar. Too many new build properties change the character of the area.	Issues relating to plot size that need to be considered when redeveloping or extending properties are set out in the Design Guide. This states that as a general principle, in order to

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			<p>retain the open and spacious character of Granville Park, new and extended buildings should not occupy a substantially larger proportion of the plot than that of the existing property.</p> <p>Residents or developers are entitled to submit an application to replace an existing property, but the Council will resist applications to demolish those properties which have been highlighted as making a positive contribution to the character of the Conservation Area. This Appraisal update will strengthen the basis for doing so.</p>
<p>Resident, Granville Park Case 1008</p>	<p>Granville Park Conservation Area Design Guide</p>	<p>It would be useful to provide more guidance on roof tile colour, windows and replacements etc. for each type of house e.g. Edwardian, Victorian etc. in more detail.</p>	<p>The Design Guide is intended to cover general principles in relation to alterations to properties (including roofs and windows), rather than specific detailing. There are many different styles of windows and different roof materials in Granville Park due to the different eras of properties, and indeed there is even considerable variety even within properties of a similar era. (This is recognised in Para. 5.1.6) Therefore it would not be appropriate to describe all potential possibilities within the design guide. Instead advice about appropriate replacement materials and styles for individual properties should be sought through the Pre-application process.</p>
	<p>Draft Character Appraisal – general comments</p>	<p>The quarry is an important feature and needs protection.</p>	<p>Agree – this has been acknowledged in this Appraisal Update by providing more detail about the quarry in the Appraisal, highlighting it as a key public space. It is also included within the Conservation Area management plan with a commitment to support proposals which will encourage more diverse use of the Quarry and protect and enhance its biodiversity value.</p>

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<p>Aughton Parish Council</p>	<p>Draft Character Appraisal – general comments</p> <p>Paragraph 7.0</p>	<p>Aughton Parish Council would support the extension of the current boundary to include The Cockbeck Tavern. The building plays a significant part in the setting of the village alongside the ‘entrance’ to the Conservation Area and in close proximity to the Heritage Asset of Granville Park War Memorial.</p> <p>The bowling green to the rear of the public house also plays its part in contributing to the area’s green character and the row of shops on Town Green Lane and the Rail Station on Middlewood Road – all in close proximity to the Victorian Semi-detached houses on Town Green Lane - contribute to the special character of the area. Perhaps, as good practice, the bowling green, shops and rail station could be assessed under this heading for a boundary change.</p>	<p>Support noted.</p> <p>As stated previously, when considering the amendment to boundaries of Conservation Areas, the Council has to take a cautious approach – in line with National Planning Policy Guidance which states that: “When considering the designation of conservation areas, local planning authorities should ensure that an area justifies such status because of its special architectural or historic interest and that the concept of conservation is not devalued through the designation of areas that lack special interest”.</p> <p>The shops, cottages and train station along Town Green Lane have a distinctive and different character which has also been somewhat more eroded over time, and are not felt to share enough of the key characteristics of the existing Granville Park Conservation Area outlined in the Appraisal document to justify their inclusion.</p>
		<p>Aughton Parish Council welcome the extension of the Article 4 Direction across the whole of Granville Park Conservation Area. This should help to preserve the future of the Conservation Area and prevent inappropriate changes/alterations/extensions to dwellings which currently positively contribute to the Conservation Area.</p>	<p>Support noted.</p>
		<p>Highway trees – over the years, some of the trees have been lost and not replaced. In order to preserve and enhance the green character of GPCA, can this somehow</p>	<p>The management plan section of the Conservation Area Appraisal acknowledges that the loss of trees within Granville Park has been</p>

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Name & Address	Section/Document	Comment	Council Response
		<p>be rectified through the appraisal?</p> <p>Street Scene – over the years, there has been a decline in ‘street scene’ services, with poor management of verges, loss of important species of hedgerow and inappropriate boundary treatments. In order to try and conserve the ambience of the Conservation Area can these matters somehow be rectified through this important review?</p>	<p>an issue, and indeed will continue to be so given that many trees in the area were planted at a similar time and therefore will reach the end of their natural lifespan around the same time. As a result the management plan states that the Council will, in the case of a privately-owned tree covered by a Tree Preservation Order, require a replacement tree to be planted in a suitable location. Roadside trees are the responsibility of Lancashire County Council with whom the Council will seek to negotiate a replacement.</p>
<p><i>Resident,</i> Quarry Drive Page 1010</p>	<p>Draft Character Appraisal – general comments</p>	<p>I think it is good to try and conserve some of the older aspects of Granville Park conservation area.</p>	<p>Support noted.</p>
	<p>Para. 6.24</p>	<p>The old stone walls and the hedgerows should be left in place wherever possible, even when the houses are demolished.</p>	<p>Agree that boundaries such as hedges and walls make an important contribution to the area’s character. This is recognised in both the appraisal and Design Guide. The revision of the existing Article 4 Direction as proposed would allow the control of removal or erection of fences or walls along the front boundary of properties and we would seek to retain these as part of any planning application. Those elsewhere lie outside of planning control.</p> <p>Hedgerows are not covered by the Article 4 Direction but we will encourage their retention where feasible as part of a development through the planning application process.</p>
	<p>Section 7</p>	<p>The Bowling green behind the pub should be included within the Conservation Area extension as it is part of the village.</p>	<p>The Cockbeck Tavern is visually an important focal point and clearly frames one of the main entrances to the Conservation Area from Town Green Lane. The bowling green meanwhile is located to its rear, largely obscured from principle views of the Conservation Area, is substantially</p>

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Name & Address	Section/Document	Comment	Council Response
			surrounded by housing and therefore does not perform the same function.
	Draft Character Appraisal – para. 6.21	The quarry is in poor condition and not well maintained. Maybe a Conservation enhancement grant could be applied for to plant some trees and hedges and to tidy up the Quarry.	The Quarry is the responsibility of the Parish Council. However the management plan section of the Conservation Area Appraisal update states that the Council will support proposals which encourage more diverse use of the Quarry and protect and enhance its biodiversity value.
84 Granville Park	Appraisal Update Para. 1.2	There should also be reference here to the group of Victorian Villas on Town Green Lane and the historic farmhouse on Winifred Lane.	The era which properties belong to is described in more detail in section 5. This introductory paragraph simply serves to describe the general layout of the Conservation Area.
	Para. 5.1.3	Reference to hedging of a native species should include reference to traditional hedging such as Privet.	Reference to ‘native species’ covers the range of hedging species that are present in Granville Park – including Holly, privet and Beech. Further detail about typical species found in Granville Park is found in the Design Guide.
	Section 5	Could there be recognition here of the pedestrian ways which follow much older access routes. These footpaths (known locally as The Pads) are extensively used and probably are the way the Conservation Area is most commonly experienced by people passing through. Footfall is surprisingly high.	This information is more appropriate to Para. 6.6. Amend to read: Vistas are enclosed views, usually long and narrow due to being enclosed and shaped by features such as buildings, streets and trees. Several of these have been identified within Granville Park including: <ul style="list-style-type: none"> • The constriction created by the narrowness of the southern part of Delph Lane provides a dramatic contrast to the openness of the quarry. • The pedestrian footpaths which follow much older access routes. These footpaths (known locally as The Pads) are extensively used and therefore form a significant way in which the Conservation

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Name & Address	Section/Document	Comment	Council Response
Page 1012			<p>Area is experienced by people passing through. These footpaths are divided into two sections:</p> <ul style="list-style-type: none"> - The footpath which runs north – south through the park provides a vista enclosed by the rear garden fences and walls of houses in Granville Park. This sense of enclosure is particularly tangible in summer when the boundary trees add a further green dimension to this vista. - The footpath north of the Tennis Club which connects the end of the cul-de-sac section of Granville Park to the rest of the serpentine provides an almost rural vista entirely encircled by vegetation.
	5.1.5	<p><i>“This green backdrop combined with the open spaces of the quarry and the private Tennis Club play a significant role in the creation of an Arcadian character. The unmade road surfaces on Quarry Drive and north of the tennis club also contribute to this informal, rustic character”</i></p> <p>Should include reference to the small War Memorial Park and the Cockbeck Bowling Green with its rustic Edwardian buildings - these are extremely Arcadian in character and important aspects of the Conservation Area.</p>	<p>The War memorial is situated within a small, formal landscaped garden, rather than what could be regarded as an ‘open space’. However the value of the War memorial and its setting is recognised within a separate section in Para. 6.1.7.</p> <p>The Cockbeck Tavern Bowling Green, located behind the pub and almost entirely surrounded by residential development is only glimpsed from the footpath running past it, therefore cannot be considered a key open space which makes a significant contribution to the character of the Conservation Area.</p>
	5.1.7	<p>Under Architectural Features should be added: "associated coachhouses" as these are a very characteristic feature of the Victorian houses.</p>	<p>Amend to include reference to associated coach houses within the text of Para. 5.1.7</p>

Appendix E Summary of Consultation responses

Name & Address	Section/Document	Comment	Council Response
Page 1013	P.9 – List of Architectural Features of Victorian properties.	The devil is in the detail and in these walls the brick courses follow the contours of the land giving a gentle and harmonious line. Modern walls do not respect this and the 'stepping' is brutal by comparison.	Amend to include reference to “brick courses which follow the contours of the land”
	Para. 5.1.9	Reference to render (either a light brown colour or a painted finish). The light brown colour is pebble dashing where small natural pebbles are applied to the render as a finish.	Amend – delete reference to colour and painted finish.
	Para. 5.1.9	The render tends to be ending in heavy bell casts above a brick base. This detail should be included as it is a very distinctive feature of Arts and Craft styling and worthy of mention.	Amend to add “ending in heavy bell casts” after Roughcast render.
		In Key Characteristics Phase 2: Edwardian stained glass is listed under Materials. In Phase 2: Arts and Crafts, it is listed under Architectural features: this probably needs standardising.	Amend to move ‘Leaded door surrounds, some with stained glass decoration’ under Architectural features (Para. 5.1.8) and delete from under Materials.
Page 1013	5.1.9	In Edwardian ‘Architectural Features’ the boundary styles are noted but not in the Victorian or the Arts and Crafts. Given the proposed Article 4 direction it is quite important to recognise these. In the Arts and Craft houses I would suggest clipped Privet and native species hedges, sometimes with wooden fences or the original estate rails. Also simple timber or brick gate posts with wooden gates.	<p>Boundary styles of the Victorian properties are mentioned under para. 5.1.7.</p> <p>Amend under para. 5.1.9 the key features of the Arts and Crafts era properties to include: Boundary treatments which typically include clipped Privet and native species hedges, sometimes with wooden fences or original estate rails.</p> <p>From evidence collected during survey of the area, a number of types of gates and gateposts exist on the boundary of Arts & Crafts era properties. Therefore it is not considered possible to state the final sentence of the comments as a key feature that remains.</p>
	5.1.9	The layout of phases one and two incorporated the Arcadian ideal of the inclusion of fruit orchards and vegetable gardens. These are an important detail although	Remnants of orchards and vegetable gardens may well remain in the grounds of properties of this era. However as the comment states – few

Appendix E Summary of Consultation responses

Name & Address	Section/Document	Comment	Council Response
Page 1014		<p>many are now lost to infill development.</p> <p>Phase two development is characterised by the early addition of simple detached garages as car ownership grew and dependence on the train and foot declined.</p>	<p>remain and therefore it is not considered possible to state that this is a key feature of these properties.</p> <p>Agree with the statement in terms of its recognition of the addition of buildings over time. However many of these simple garages have been replaced or altered, therefore it is difficult to justify drawing this feature out as a key characteristic.</p>
	6.9	Reference to Delph Lane not being a through route during the 19 th Century - it was a through route on foot and that was the main mode of people transport.	Amend. Sentence to read: However, with the exception of the quarry at the end of Delph Lane (which was then not shown on mapping as a through highway) the area was entirely agricultural land, divided into irregular fields.
	6.21	In relation to the tree species within the quarry, they are much more varied that this statement suggests - there is Poplar, Sycamore, Cherry, Elm, Oak, Pine also there are vestiges of more exotic planting from the time when the quarry was private gardens and garages.	Amend to read: "The Quarry is the only public recreation space in the Conservation Area. This small wooded area approximately 1.5 hectares in size, was a former quarry working site which is now within the ownership of Aughton Parish Council. It has a very natural appearance, dominated by self-seeded trees, mainly Beech with some Birch and other species"
	6.21	There is informal recreation within the Conservation Area as geocaching is actively carried out on the unadopted road by the tennis court.	Para. 6.5 – 6.7 recognise the value and use of the footpaths through Granville Park.
	6.24 and 6.26	The text should make note of the original estate rails which are shown in photos on - these are a very important original feature. Significant sections survive.	Amend to read: <i>"Some of the older properties still have their original attractive brick boundary walls at the front with stone copings and impressive stone gate piers. In some areas the original metal estate</i>

Appendix E

Summary of Consultation responses

Name & Address	Section/Document	Comment	Council Response
Page 1015			<i>railings remain”</i>
	7.5	<p>Agree with the proposed extension but this should also include its Bowling Green. The bowling green is clearly part of the plot and is in the same ownership. It exhibits along with the associated Edwardian buildings all those Arcadian characteristics previously referred to. It is part of the genteel aspirations that this place personified as it developed. It is an important green and open space.</p> <p>Additionally all the things that apply to the Cockbeck also apply to the shops on the other side of the road, the style, materials the cluster around the entrance to Granville Park and the station exit.</p>	<p>As stated previously, when considering the amendment to boundaries of Conservation Areas, the Council has to take a cautious approach – in line with National Planning Policy Guidance which states that: “When considering the designation of conservation areas, local planning authorities should ensure that an area justifies such status because of its special architectural or historic interest and that the concept of conservation is not devalued through the designation of areas that lack special interest”.</p> <p>The shops, cottages and train station along Town Green Lane have a distinctive and different character which has also been somewhat more eroded over time, and are not felt to share enough of the key characteristics of the existing Granville Park Conservation Area outlined in the Appraisal document to justify their inclusion.</p> <p>The Cockbeck Tavern is visually an important focal point and clearly frames one of the main entrances to the Conservation Area from Town Green Lane. The bowling green meanwhile is located to its rear, largely obscured from principle views of the Conservation Area, is substantially surrounded by housing and therefore does not perform the same function.</p>
	8.5	Are boundary treatments fronting a pathway covered by an Article 4 Direction? The paths are how most people experience the area and are very important indeed.	A footpath is not classed as a highway for the purposes of the Article 4 Direction – therefore boundary treatments fronting footpaths would not be subject to control.
	9.3 & Map 3	I strongly disagree with the assessment of 33 Granville Park	Comments noted but the Council feels that, after

Appendix E

Summary of Consultation responses

Name & Address	Section/Document	Comment	Council Response
		West and I know that many people attending the exhibition voiced their opinions about this too. It should be the lowest category no contribution - this is by virtue of it having little or no relationship to other buildings in the CA, flat roof, full render, Art Deco form, insensitive boundary treatment.	our detailed assessment the property was rightly considered to be a neutral building in terms of the areas character and appearance.
	Map 3 – Key views and vistas	Some additional key views and glimpsed views were suggested.	Comments noted.
	P. 32	<p><i>“In the case of a privately owned tree covered by a tree preservation order, then the Council will require a replacement tree to be planted in a suitable location”.</i></p> <p>Suggest replacement with “where a tree is lost in order to allow development, or through disease or damage then the Council will request a replacement tree to be planted in a suitable location”.</p>	Amend Management Plan section relating to loss of trees. Add in the following sentence: “where a tree is lost as part of a development proposal, or through disease or damage then the Council will seek a replacement tree to be planted in a suitable location”

Equality Impact Assessment Form



Directorate: Development and Regeneration		Service:
Completed by: Ian Bond		Date: 24/11/16
Subject Title: Granville Park Conservation Area Character Appraisal Update		
1. DESCRIPTION		
Is a policy or strategy being produced or revised:	Yes	<i>*delete as appropriate</i>
Is a service being designed, redesigned or cutback:	No	
Is a commissioning plan or contract specification being developed:	No	
Is a budget being set or funding allocated:	No	
Is a programme or project being planned:	No	
Are recommendations being presented to senior managers and/or Councillors:	Yes	
Does the activity contribute to meeting our duties under the Equality Act 2010 and Public Sector Equality Duty (Eliminating unlawful discrimination/harassment, advancing equality of opportunity, fostering good relations):	Yes	
Details of the matter under consideration:	<ul style="list-style-type: none"> • The Draft Conservation Area Appraisal for Granville Park • Report to members on the results of public consultation on the updated document and the representations received • The proposals identified in the Character Appraisal to extend the conservation area and make a new Article 4 Direction 	
<p><i>If you answered Yes to any of the above go straight to Section 3</i></p> <p><i>If you answered No to all the above please complete Section 2</i></p>		
2. RELEVANCE		
Does the work being carried out impact on service users, staff or Councillors (stakeholders):	Yes/No*	<i>*delete as appropriate</i>
If Yes , provide details of how this impacts on service users, staff or Councillors (stakeholders): <i>If you answered Yes go to Section 3</i>		
If you answered No to both Sections 1 and 2 provide details of why there is no impact on these three groups: <i>You do not need to complete the rest of this form.</i>		
3. EVIDENCE COLLECTION		
Who does the work being carried out impact on, i.e. who is/are the stakeholder(s)?	Residents of Granville Park Conservation Area in particular, but also wider residents of the	

	local area to a lesser degree.
If the work being carried out relates to a universal service, who needs or uses it most? (Is there any particular group affected more than others)?	No
Which of the protected characteristics are most relevant to the work being carried out? Age Gender Disability Race and Culture Sexual Orientation Religion or Belief Gender Reassignment Marriage and Civil Partnership Pregnancy and Maternity	No No No No No No No No No
4. DATA ANALYSIS	
In relation to the work being carried out, and the service/function in question, who is actually or currently using the service and why?	N/A
What will the impact of the work being carried out be on usage/the stakeholders?	The Character Appraisal update identifies management proposals within the conservation area and proposes a new Article 4 Direction, which restricts permitted development rights, an extension to the conservation area and new design guidance. The appraisal will be used by the LPA in determining planning applications.
What are people's views about the services? Are some customers more satisfied than others, and if so what are the reasons? Can these be affected by the proposals?	People's views were sought during a consultation workshop with local residents held the evening of 12 April 2016. This allowed residents to discuss aspects of the built and natural environment which contribute towards the special character of the Conservation Area. The consultation responses received as a result of the consultation forms part of the Cabinet report.
What sources of data including consultation results have you used to analyse the impact of the work being carried out on users/stakeholders with protected characteristics?	The views of residents (via a workshop, direct consultation and from an exhibition) have been incorporated into the draft document.
If any further data/consultation is needed and is to be gathered, please specify:	Under the procedures residents affected by the creation of the Article 4 Direction and the extension of the boundary will be consulted and a notice will be placed in a Local newspaper.
5. IMPACT OF DECISIONS	
In what way will the changes impact on people with	The provision of a new Article 4 Direction to

particular protected characteristics (either positively or negatively or in terms of disproportionate impact)?	cover the whole of the conservation area removes the rights of homeowners to undertake certain types of work and therefore can have a negative impact on those residents. In some circumstances compensation can be applicable. However the review has been justified by the Council's duty to preserve the character and appearance of conservation areas. This work helps the Council fulfil that statutory duty.
6. CONSIDERING THE IMPACT	
If there is a negative impact what action can be taken to mitigate it? (If it is not possible or desirable to take actions to reduce the impact, explain why this is the case (e.g. legislative or financial drivers etc.).	Homeowners affected by the changes have the opportunity to apply for planning permission.
What actions do you plan to take to address any other issues above?	No actions.
7. MONITORING AND REVIEWING	
When will this assessment be reviewed and who will review it?	We have a general duty to review all the Borough's Conservation Areas from time to time. We currently have a program to review and monitor conservation areas.



Planning Committee:

8th December 2016

Report of: Director of Development and Regeneration Services.

Contact for further information: David Thornber (Ext 5114)
Email: dave.thornber@westlancs.gov.uk

SUBJECT: APPLICATION TO CARRY OUT WORKS TO TREES SUBJECT TO A TREE PRESERVATION ORDER AT 54 TOWER HILL, ORMSKIRK

Wards affected: Derby Ward.

1.0 PURPOSE OF THE REPORT

1.1 To advise Members of an application to carry out works to two trees subject to Tree Preservation Order (TPO) No 17 1993.

2.0 RECOMMENDATIONS

2.1 That the Council does not object to the works applied for subject to a Condition to prune the trees to the British Standard 3998:2010.

3.0 BACKGROUND

3.1 The Town and Country Planning Act 1990 and The Town and Country Planning (Trees) Regulations 1999 requires anyone wishing to carry out works to trees including pruning or felling, subject to particular exemptions, must first apply to the Local Planning Authority (LPA) for consent.

3.2 Applications for works to protected trees are normally dealt with under delegated powers. However, in this instance this particular application has been received from the Borough Transformation Manager and Deputy Director of Housing and Inclusion.

4.0 PRESENT POSITION - APPLICATION

4.1 The TPO consists of one Sweet Chestnut and one Silver Birch in G1 of the order.

4.2 The application for works consists of the following:-

- T1 Birch - Remove up to 4 branches to provide adequate clearance for the house.
- T2 Sweet Chestnut - Remove up to 6 lower branches that hang low over the lawn and encroach towards the house

4.3 The stated reasons for the works are to reduce encroachment and shading close to the house.

4.4 The trees are situated at the bottom of the garden at 54 Tower Hill, Ormskirk, but overhang substantially into the applicant's property at 2 Oakfields, Ormskirk. The applicant has spoken with the owner of the trees who has no objections to the proposed works.

4.5 Consent for previous works to the same trees was approved in September 2002.

5.0 ASSESSMENT

5.1 Both trees have grown substantially in the intervening years since the previous authorised works in 2002.

5.2 The canopies of both trees substantially overhang into the applicant's rear garden and extend close to the rear elevation of the house. The Birch tree, in particular, is close to the corner of the house. Both trees cause shading and light obstruction to a conservatory and first floor windows to the property at 2 Oakfields.

5.3 The works applied for are acceptable and would allow reasonable enjoyment of the property. The works would not have any notable implications to the health and appearance of the trees and would have little impact on the neighbouring properties and would not diminish any screening values.

5.4 Subject to the pruning being carried out to the British Standard 3998:2010, I raise no objection to the proposed works.

6.0 SUSTAINABILITY IMPLICATIONS

6.1 There are no significant sustainability impacts associated from this report and, in particular, no significant impact on crime and disorder. The report has no significant links with the Sustainable Community Strategy.

7.0 FINANCIAL AND RESOURCE IMPLICATIONS

7.1 If the Council were to refuse some works or impose any conditions then there is a potential to claim against the Council for compensation under the Act that arises as a result of loss or damage from a refusal or any conditions imposed with a Council's consent.

8.0 RISK ASSESSMENT

8.1 The Council has a legal duty to protect trees covered by Tree Preservation Orders to stop the cutting down, uprooting, topping, lopping, wilful damage or

wilful destruction of protected trees or woodlands.. The works are considered appropriate and applying a Condition to ensure the works are carried out to the British Standard ensures that our duty is complied with.

** Please delete as appropriate*

Background Documents

The following background documents (as defined in Section 100D (5) of the Local Government Act 1972) have been relied on to a material extent in preparing this Report.

<u>Date</u>	<u>Document</u>	<u>File Ref</u>
12 October 2016	Application to carry out works on trees protected by a Tree Preservation Order	Register of current application.
26 July 2002	Application to carry out works on trees protected by a Tree Preservation Order	Register of current application.
19 December 1997	Consent to carry out works to Birch Tree	TPO File No. 17: 1993

Equality Impact Assessment

The decision does not have any direct impact on members of the public, employees, elected members and / or stakeholders. Therefore no Equality Impact Assessment is required.

Appendices

Appendix A - Plan showing location of TPO trees



